



REGIONAL DISTRICT OF CENTRAL OKANAGAN

ZONING BYLAW #871

Schedule A

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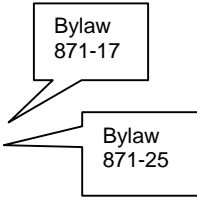
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Part 1 - Administration

1.1 Application

This Bylaw applies to all land, *buildings, structures* and the surface of water within the boundaries of the *Regional District* of Central Okanagan as defined by the zoning maps contained in Schedule 'B', which forms part of this Bylaw. This bylaw does not apply to areas within the District of Lake Country, District of Peachland, City of Kelowna, First Nation Reserves and areas regulated by the Joe Rich Rural Land Use Bylaw.

1.2 Compliance

Land, including the surface of water, shall not be used and *buildings and structures* shall not be constructed, altered, located or used except as specifically permitted in this Bylaw.

1.3 Severability

If any section, subsection, clause, sentence or phrase of this Bylaw is for any reason held to be invalid by the decision of any court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remaining portions of this Bylaw.

1.4 Units of Measure

Metric units are used for all measurements in this Bylaw. The approximate imperial measurement equivalents are shown in brackets for convenience only.

1.5 Applicable Regulations

Where this bylaw sets out both general and specific regulations that could apply to a situation, the specific regulation shall apply.

1.6 Applications in Process

A completed application for a building permit which is received by the *Regional District* prior to the lapse of a development permit (two years after the date of issuance pursuant to the Local Government Act) shall be processed in accordance with the *Regional District Zoning Bylaw No. 176 (1981)* as amended. Such applications shall be approved or rejected within six months of receipt of a completed building permit application. If rejected, all subsequent development must comply with Regional District Zoning Bylaw #871, 2000.

Part 2 - Enforcement

2.1 Inspection

Duly appointed *bylaw enforcement officers* of the *Regional District* are authorized to enter at all reasonable times, on any property that is subject to regulations under this Bylaw to ascertain if the provisions of this Bylaw are being met, or the regulations are being observed.

2.2 Violation

Any person who:

1. violates any of the provisions of this Bylaw;
2. causes or permits any act or thing to be done in contravention or violation of any of the provisions of this Bylaw;
3. neglects or omits to do anything required under this Bylaw;
4. carries out, causes or permits to be carried out any use, construction or subdivision in a manner prohibited by or contrary to any of the provisions of this Bylaw;
5. fails to comply with an order, direction or notice given under this Bylaw; or
6. prevents or obstructs or attempts to prevent or obstruct the authorized entry of a bylaw enforcement officer onto property;

will be guilty, upon summary conviction, of an offence under this Bylaw.

2.3 Offence

Each day's continuance of an offence under this bylaw constitutes a new and distinct offence.

2.4 Penalty

Any person who violates bylaw provisions may, on summary conviction, be liable to the maximum penalty under the Offense Act, plus the cost of prosecution, for each offense. The penalties imposed under this section are a supplement and not a substitute for any other remedy to an infraction of this bylaw.

Part 3 General Regulations

3.1 Applicability of General Regulations

Except as otherwise specified by this Bylaw, Part 3 applies to all *zones* established under this Bylaw.

3.2 Uses Permitted on Parcels Regardless of Size

All of the uses permitted in a *zone* are permitted on any *parcel* within the *zone*, regardless of the area or *frontage* of the *parcel*.

3.3 Minimum Parcel Area Requirements

Minimum *parcel area* requirements apply upon creation of the *parcel* at subdivision.

3.4 Parcel Coverage Exceptions

1. The following are not included as part of the coverage of a *parcel*:
 - a) Chimneys, cornices, leaders, gutters, eaves, columns, belt courses, sills, bay windows, pop outs, or other similar *building* features, where they do not touch the ground;
 - b) Exterior open stairs;
 - c) uncovered balconies;
 - d) decks under 0.6 m (2.0 ft.) in *height*
 - e) sidewalks, patios and hard surfacing of the ground
 - f) driveways, aisles and *parking spaces*
 - g) Any part of an underground *structure* that does not extend above the ground elevation.

3.5 Setback Exceptions

1. No structure shall project into the *setback* required by this Bylaw, except the following:
 - a) Chimneys, cornices, leaders, gutters, columns, belt courses, sills or other similar *structures* may intrude no more than 0.6m (2.0 ft.) into the required *setback*.
 - b) Eaves, sunlight control projections, canopies, balconies, uncovered decks, or open porches open stairs may project no more than:
 - i. 1.2m (3.9 ft.) into a required *front* or *rear setback*; and

- ii. 0.6m (2.0 ft.) into a required *side setback* or *corner side setback*.
- c) Bay windows, pop outs or exterior open stairs provided, in total, that they are limited to no more than 35% of the wall length of that particular side of the house and provided they extend no more than
 - i. 1.2m (3.9 ft.) into a required front or rear setback; and
 - ii. 0.6m (2.0 ft.) into a required *side setback* or *corner side setback*
- d) Arbors and trellises, fish ponds, ornaments and other similar landscape features
- e) Fence
- f) An uncovered swimming pool, provided that such pool shall not be constructed within any required front setback nor nearer than 1.0 m (3.3 ft.) to any parcel line.
- g) An underground structure may be sited in any portion of a parcel provided that the top surface of such structure shall at no point extend above the ground elevation.
- h) Free-standing lighting poles, flag poles, warning devices, antennas, masts, clothes lines, signs, and sign structures, except as otherwise limited in this or other bylaws, may be sited on any portion of a parcel.
- i) Sidewalks, patios and hard surfacing of the ground may be sited on any portion of the *parcel*
- j) Notwithstanding the above, no building or structure or portion thereof may project into or over a registered statutory right-of-way.

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3.6 Parking, Driveway and Use Restrictions within Setbacks

All areas used for parking and loading in the *C zones*, *I zones*, and *R3 zones* shall be surfaced with pavement, concrete, interlocking brick, or other hard surfaced material.

3.7 Maximum Area of Parking Permitted in Front Setback

In an *R zone*, the maximum area for parking or driveway in the required front *setback* is 45 m² (484.4 sq. ft.).

3.8 Exemption from Minimum Parcel Area

The provisions of this Bylaw pertaining to minimum *parcel area* do not apply in the case where:

1. Two or more *parcels* are to be consolidated into one *parcel*;
2. The *parcel* being created is to be used solely for an unattended *building* or equipment necessary for the operation of:
 - a) a *community water system*;
 - b) a *community sewer system*;
 - c) a community gas distribution system;
 - d) a radio or television receiving or broadcasting antenna;
 - e) an air navigation aid;
 - f) a marine navigation aid;
 - g) an electrical substation or power generating station;
 - h) public parks or public playgrounds; or
 - i) any other similar public service facility or utility; and

provided the owner enters into a restrictive covenant with the *Regional District* indicating that the *parcel* will only be used for the use proposed.

3.9 Height Regulation Exemptions

1. The following *structures* are exempt from the *height* limitations specified in each *zone* in this Bylaw:
 - a) flag pole carrying provincial, federal or municipal flags
 - b) water tower;
 - c) barn,
 - d) silo, grain bin;
 - e) spire, steeple, belfry;
 - f) chimney, smoke stack;
 - g) dome, cupola;
 - h) monument or sculpture;
 - i) industrial cranes;
 - j) antenna or mast for the transmission or reception of radio and television signal;
2. No exempted *structure*, other than grain bins, silos, or water towers shall:
 - a) exceed 20 m in *height*;
 - b) cover more than 20% of the *parcel*; or
 - c) if located on a *building*, cover more than 10% of the roof area of the *building*.

3.10 Fencing and Retaining Walls

Fence Height

1. A fence *height* is measured from the top of the fence to the point where the fence post enters the ground or retaining wall.
2. On a *parcel* within *R zones* and *R3 zones*, no fence shall exceed a *height* of 1.3 m (4.3 ft.) in a *front setback* and *corner side setback*, and 2.0 m (6.6 ft.) in a *side setback* or *rear setback*.
3. No fence shall exceed a *height* of 2.0 m (6.6 ft.), except on a *parcel* in the *RU*, *C4*, *I* and *A zones*, unless the fence is required by this bylaw for screening.
4. On a *parcel* within *I zones* and the *C4 zone* no fence shall exceed 2.5 m (8.2 ft) in *height*.

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Retaining Walls

5. No retaining wall shall be more than 1.5 m (4.9 ft.) high when located within 1.0 m (3.3 ft.) of a *parcel* line, and 2.5 m (8.2 ft.) high when located greater than 1.0 m (3.3 ft.) from a *parcel* line. In any case, two retaining walls greater than 1.5 m (4.9 ft.) high shall not be closer than 1.0 m (3.3 ft.) apart.
6. The maximum *height* of a fence located on top of a retaining wall is 1.3 m (4.3 ft.).

Solid screen

7. A *solid screen* of not less than 2.0 m (6.6 ft.) high shall be provided and maintained along the boundary of a *parcel* within *C* and *I zones*, which contain *buildings* or *structures* and abut *R*, *R3* or *P zones*.
 - A solid screen of not less than 2.0 m (6.6 ft.) high shall be provided and maintained along the boundary of a *parcel* within *C*, *I*, *R* and *R3 zones* which contain *buildings* or *structures* and abut a *P zone*.
8. A solid screen of not less than 2.0 m (6.6 ft.) high shall be provided and maintained around all outdoor storage areas in *C*, *I* and *P zones*.
9. A *solid screen* of not less than 2.0 m (6.6 ft.) high shall be provided and maintained along the boundary of a *parcel* within *I zones* which contain *buildings* or *structures* and abut *C1*, *C2*, *C3*, *C5*, *C6*, and *C7 zones*.

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[Note: The Ministry of Transportation and Highways requires a 6.1 m (20 ft.) sight triangle on corner *parcels* at any intersection. No fences or plants or any structures higher than 0.6 m (about 2 ft.) are permitted within the sight triangle. Consult the Ministry of Transportation and Highways for the regulations]

Prohibited Fence Materials

10. No fence in an *R zone*, *R3 zone*, or a C1, C2, C3, C5, C6, C7, and C9 zones shall contain barbed wire, razor wire, electrified wire, sheet metal, or corrugated metal.
11. No fence in an *RU* or *A zone* shall contain tarps, razor wire, sheet metal or corrugated metal.

Swimming Pool Fences

12. Swimming pools shall be provided with fences that meet the following regulations:
 - a) A fence or an equivalent barrier not less than 1.2 m (3.9 ft.) in *height* shall be provided to prevent access to a swimming pool. All openings through the fence shall be equipped with self-closing and self-latching gates. Latches shall be located on the swimming pool side of the gate and located at least 1 m (3.3 ft.) above grade.
 - b) The fence or equivalent barrier shall be chain link type material, solid material with a flat vertical surface, or vertically oriented material, all intended to discourage climbing. All openings through such a fence or barrier shall have a size so as to prevent the passage of a spherical object having a diameter of 10 cm (3.9 in.) or greater.
 - c) A swimming pool which is located above ground and has vertical sides of at least 1.2 m (3.9 ft.) may be protected from access by fencing the access ladder to limit access, with a self closing and self latching gate through the fence.
 - d) The swimming pool fence or equivalent temporary barrier shall be in place prior to placing the water in the pool.

3.11 Setback and Buffering from ALR

Standard Setback

1. The required minimum *setback* of the *principal building* from land in the A1 zone or Agricultural Land Reserve is 15.0 m (49.2 ft.) as set out in the regulations table for each *zone*.

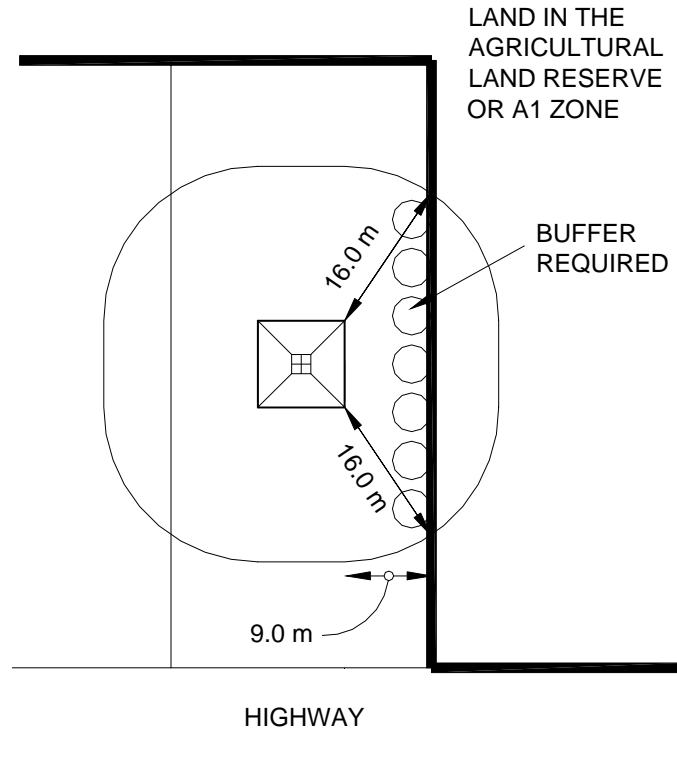
Reduced Setback in RU and R zones

2. In an RU and *R zone*, the required *setback* of the *principal building* from the A1 zone or *ALR* is reduced to 9.0 m (29.5 ft.) if a level 1 buffer is provided and maintained.

Level 1 Buffer Requirements

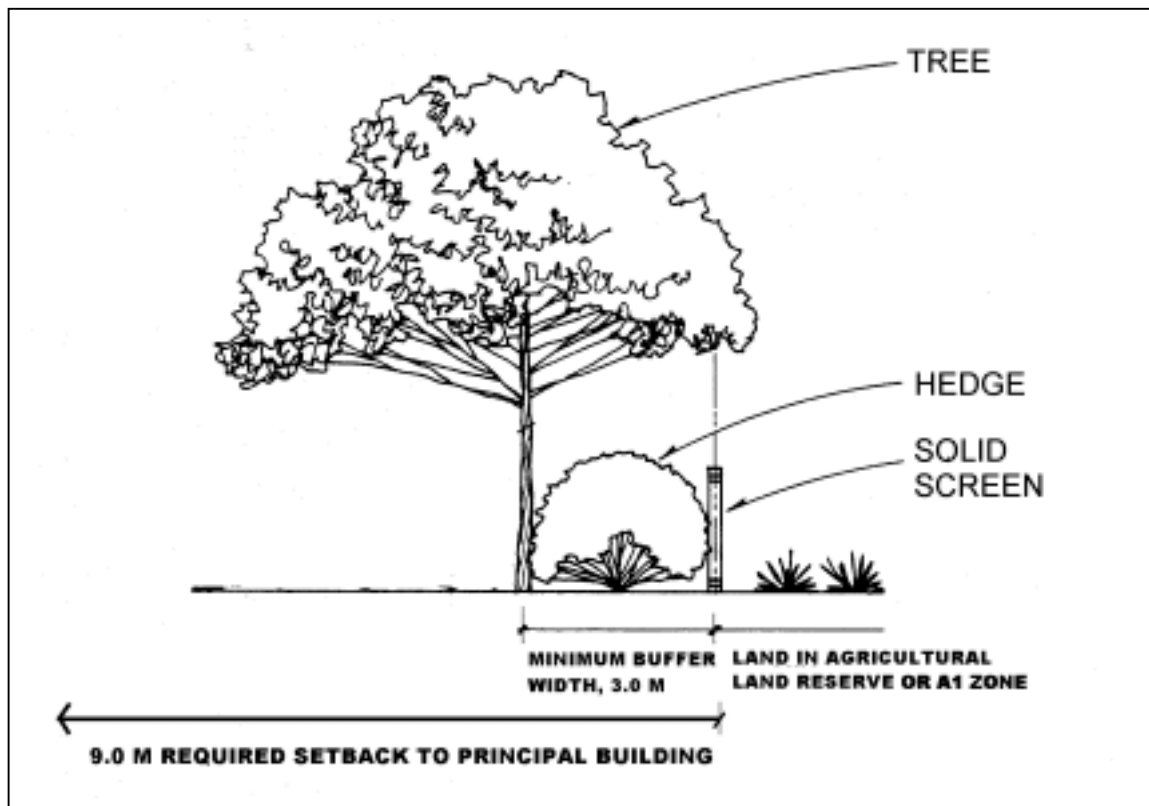
3. When required, a level 1 buffer shall be provided and maintained in an *R zone* in the following location:
 - a) along the *parcel* line adjacent to the A1 zone or *ALR* boundary, and
 - b) along a *parcel* line located across a *lane* from the A1 zone or *ALR* boundary.
4. When required, a level 1 buffer shall be provided and maintained in an *RU zone* in the following location:
 - a) Along the *parcel* line adjacent to the A1 zone or *ALR* boundary, where the *parcel* line is located within 16.0 m (52.5 ft.) of any part of the *principal building*, as shown in Figure 3.1, and
 - b) Along the *parcel* line located across a *lane* from the A1 zone or *ALR* boundary, where the *parcel* line is located within 16.0 m (52.5 ft.) of any part of the *principal building*.

Figure 3.1
Buffer in RU zone



5. A level 1 buffer shall be 3.0 m (9.8 ft.) wide and consist of
 - a) a *solid screen* at least 2.0 m (6.6 ft.) high located along the *parcel* line adjacent to land in the A1 zone or *ALR*, and
 - b) a continuous screening evergreen hedge with plants at less than 1.0 m (3.3 ft.) on centre, and
 - c) trees at least 2.0 m (6.6 ft.) high, with a trunk diameter of at least 5.0 cm (2.0 in.) measured 15.0 cm (6.0 in.) above the ground, planted at less than 5.0 m (16.4 ft.) on centre, as illustrated in Figure 3.2 below

Figure 3.2
Level 1 Buffer

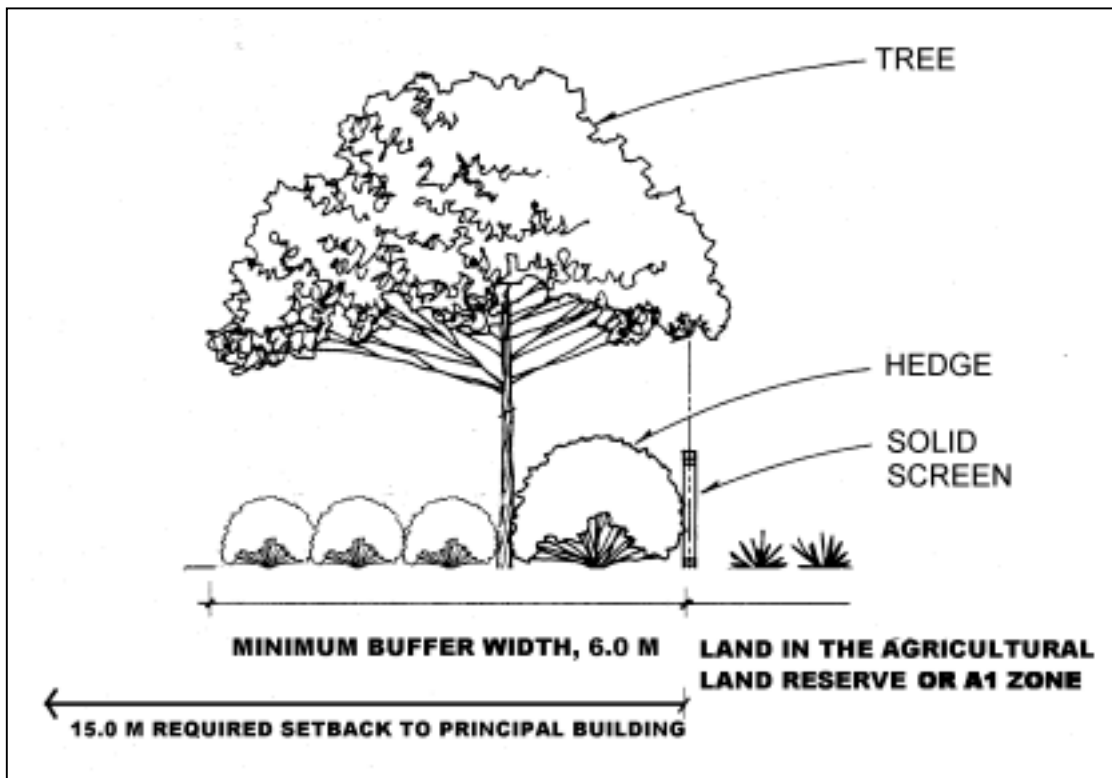


Level 2 Buffer Requirements

6. A level 2 buffer shall be provided and maintained when *buildings* or *structures* are constructed on a *parcel* in an *R3 zone*, *C zone* and *P zone*, located adjacent to the *A1 zone* or *ALR* boundary or across a *lane* from the *A1 zone* or *ALR* boundary.
7. A level 2 buffer in an *R3*, *C* and *P zone* shall be provided and maintained in an in the following location:
 - a) along the *parcel* line adjacent to the *A1 zone* or *ALR* boundary; and
 - b) along a *parcel* line located across a *lane* from the *A1 zone* or *ALR* boundary.
8. A level 2 buffer shall be 6.0 m (19.7 ft.) wide and consist of
 - a) a *solid screen* at least 2.0 m (6.6 ft.) high located along the *parcel* line adjacent to land in the *A1 zone* or *ALR*, and

- b) a continuous screening evergreen hedge with plants at less than 1.0 m (3.3 ft.) on centre, located adjacent to the *solid screen*, and
- c) trees at least 2.0 m (6.6 ft.) high, with a trunk diameter of at least 5.0 cm (2.0 in.) measured 15.0 cm (6.0 in.) above the ground, planted at less than 5.0 m (16.4 ft.) on centre, and
- d) additional shrubs planted on the remainder of the buffer as illustrated in Figure 3.3 below

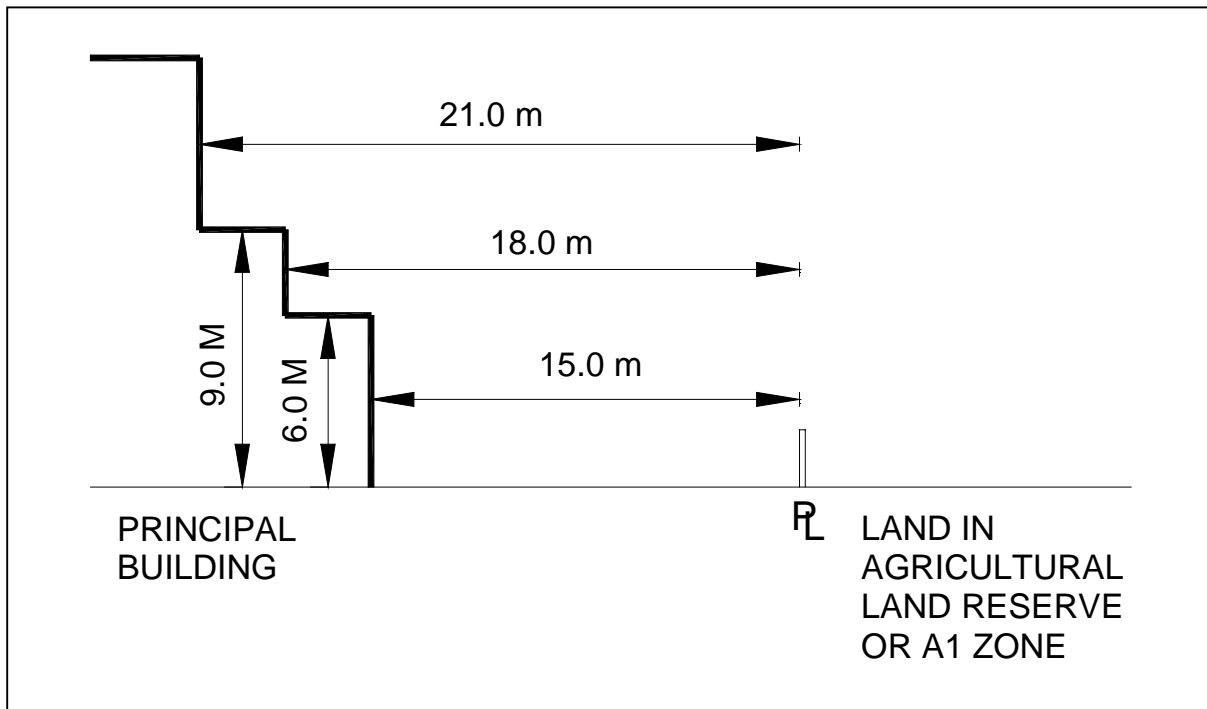
Figure 3.3
Level 2 Buffer



Stepped Setback for Taller Buildings in R3, C and P zones

9. In an *R3 zone*, *C zone* and *P zone*, the required minimum *setback* of the *principal building* from the *A1 zone* or *Agricultural Land Reserve* is 15.0 m (49.2 ft.); the setback is increased to:
- 18.0 m (59.0 ft.) for the third *storey* (or portion of the *building* above 6.0 m (19.7 ft.) in *height*); and
 - 21.0 m (69.0 ft.) for the fourth *storey* (or portion of the *building* above 9.0 m (29.5 ft.) in *height*);
- as illustrated in Figure 3.4.

Figure 3.4
Setbacks from the A1 Zone or ALR



3.12 Uses Permitted in All Zones

The following uses are permitted in all *zones*:

1. Public Parks
2. Public Utility facilities for local transmission of water, sewage, electrical power, telephone, natural gas, cable television and other similar services (but not including sewage treatment plants, electrical substations, storage yards, works yards, maintenance *buildings*, or offices)
3. *Highways*
4. Mail boxes
5. Railway tracks
6. The temporary use of a *building* as a polling station for government elections or referenda, provided that the time period of use does not exceed 60 days
7. Temporary construction and project sales offices provided that the use is removed within 20 days of completion of the project
8. Storage of construction materials on a site for which construction has been authorized by the authority having jurisdiction, provided they are removed within 20 days of completion of the project.
9. Processing of timber, sand and gravel located on a parcel for use only on that parcel.

[Note: The Zoning bylaw does not apply to Facilities Licensed under the *Community Care Facility Act*. These facilities include day cares for no more than 8 persons, or residence for no more than 10 persons, not more than 6 of whom are persons in care. As a result these uses cannot be prohibited in any *zone* in the *Regional District* provided they are licensed under the Community Care Facilities Act. Contact the Ministry of Health for further information.]

[Note: Lands within the ALR (Agricultural Land Reserve) or FLR (Forest Land Reserve) may have further restrictions on land use.]

3.13 Prohibited Uses

1. The following uses are prohibited on *parcels* that do not contain a *principal building, structure* or use, and are located in *R* or *R3 zones*:
 - a) Outdoor storage yard.
 - b) The parking of a *recreational vehicle*.
2. The following uses are prohibited on a *parcel* in an *R zone*:
 - a) Occupancy of a *recreational vehicle* for more than 10 days in one month.
 - b) Storage of materials, except permitted vehicles, in a required *front setback* or required *corner side setback*.
3. Occupancy of a recreational vehicle for overnight accommodation while it is parked on a highway is prohibited.
4. The parking of recreational vehicles is prohibited on parcels that do not contain a principal building, structure or use and are located in an *RU zone*.

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3.14 Prohibited Vehicles and Equipment

Parking or Storage of Unlicensed Vehicles

1. Subject to the Farm Practices Protection Act, and except as provided in 3.14.2, the exterior storage or parking of more than four unlicensed cars, trucks, sport utility vehicles, or *commercial vehicles* is prohibited on a parcel except on a parcel in an *I zone* or a *C4 zone*.
2. Except for Recreational Vehicles stored in Neighbourhood Recreation and Storage Facilities, on a *parcel* in an *R* or *R3 zone*, the exterior storage or parking of more than one unlicensed car, truck, sport utility vehicle, or *commercial vehicle* is prohibited.

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Parking or Storage of Heavy Vehicles or Equipment in A Zones and RU zones

3. On a *parcel* in an *A zone* or an *RU zone*, exterior storage or parking of a maximum of 2 pieces of logging, industrial or construction vehicles or equipment is permitted under the following circumstances:
 - a) The *parcel* is 5000 m² (53,820 sq. ft.) or more in area, and
 - b) The logging, industrial or construction vehicles or equipment cover less than 150 m² (1614.6 sq. ft.) of the *parcel*.
 - c) The logging, industrial or construction vehicles or equipment are located a minimum of 15.0 m (49.2 ft.) from a *side or rear parcel line*, creek, *watercourse* or other body of water.
4. On a *parcel* in an *A zone* or an *RU zone*, exterior storage or parking of a maximum of 4 pieces of logging, industrial or construction vehicles or equipment is permitted under the following circumstances:
 - a) The *parcel* is 3.8 ha (9.4 acres) or more in area, and
 - b) The logging, industrial or construction vehicles or equipment cover less than 300 m² (3229.2 sq. ft.) of the *parcel*.
 - c) The logging, industrial or construction vehicles or equipment are located a minimum of 15.0 m (49.2 ft.) from a *side or rear parcel line*, creek, *watercourse* or other body of water.

Prohibited Vehicles in an R or R3 zone

5. Except when loading, unloading or carrying out a construction or maintenance activity the following vehicles are not permitted to be parked on a *parcel* in an *R zone* or an *R3 zone*.
 - a) Any *commercial vehicles* larger than 4000 kg gross vehicles weight;
 - b) More than two *commercial vehicles* of less than 4000 kg gross vehicle weight each;
 - c) *Recreational vehicles* with a length greater than 10.7 m (35 ft.);
 - d) Logging, industrial or construction vehicles or equipment.
6. Except when loading, unloading or temporarily parked while providing a business activity, the following vehicles are not permitted to be parked on a *highway* in an *R zone* or an *R3 zone*.
 - a) Any *commercial vehicles* or vehicles used for business, regardless of weight, that have signage visible on their exterior;
 - b) *Recreational vehicles* with a length greater than 10.7 m (35 ft.);
 - c) Logging, industrial or construction vehicles or equipment.

3.15 Lighting

1. Outdoor lighting for any development shall be located and arranged so that no direct rays of light are directed at any adjoining *parcels* or interfere with the effectiveness of any traffic control device.
2. Outdoor lighting for any development on a *parcel* shall not be located at a *height* exceeding 9.1 m (30.0 ft.).

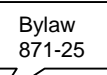


3.16 Portable Saw Mills and Portable Shake Mills

1. Portable saw mills and portable shake mills are required to have:
 - a) A minimum *parcel area* of 8 ha (19.8 acres).
 - b) A capacity of not more than 50 cubic metres (21,180 board feet of lumber) per day.
 - c) No accumulation of sawdust wood chips or other wood products with a *height* exceeding 10 metres (32.8 feet).
 - d) A clear fire guard 15 metres (49.2 feet) wide around the mill, logs or debris; and the fire guard is to be measured from the *parcel* line or the forest, whichever is closer to the mill, logs or debris.
2. All debris, slash, mill waste, timbers and skids shall be removed, and all wells and pits shall be filled upon cessation of the portable saw mill and portable shake mill operation.

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3. Only logs originating from the *parcel* upon which the portable saw mill or portable shake mill is located shall be utilized by the mill.

3.17 Accessory, Buildings and Structures

1. No *accessory building or structure* shall be permitted on any *parcel* unless the *principal building or structure* is established on the *parcel*.
2. No person shall attach an *accessory building* to a *principal building* unless the *accessory building* meets the regulations for the *principal building*. 
3. On a *parcel* in an *R* or *R3* zone, the size of *accessory buildings* shall not exceed a total floor area of 100 m², including all floors.
4. On a *parcel* in an *R* or *R3* zone, no more than three *accessory buildings or structures* are permitted in addition to the following *accessory buildings and structures*: domestic water pump houses, and swimming pools and auxiliary equipment.
5. No *accessory building or structure* is permitted in a required front *setback*, or corner side *setback*.
6. Except where setbacks and/or buffering from the Agricultural Land Reserve is required, an *accessory building or structure* may be located within a required rear *setback* or side *setback*, but if it exceeds 2.0 m (6.6 ft.) in *height* it shall have a minimum of 1.0 m (3.3 ft.) *setback* from a side or *rear parcel line*. 

7. Outdoor storage is not permitted as a use on a *parcel* in the *C1* zone.

3.18 Accessory Home

Accessory homes are subject to the following regulations:

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1. The *accessory home* shall be used for the accommodation of the *household* of an agricultural worker or caretaker.
2. An *accessory home* is not permitted on a *parcel* less than 3.8 ha (9.4 acres) in area.
3. The *accessory home's* gross floor area shall not exceed the lesser of 140 square metres gross floor area or 75% of the gross floor area of the principal single detached dwelling.
4. An *accessory home* shall be an *accessory use*.
5. One accessory home is permitted per 3.8 ha (9.4 acres) to a maximum of 2 accessory homes per parcel.
6. One *parking space* per *accessory home* is required in addition to those required for the principal dwelling.
7. A standard *home based business* is permitted in an *accessory home*.
8. A bed and breakfast is not permitted in an *accessory home*.
9. A *secondary suite* is not permitted in an *accessory home*.
10. The owner shall enter into a restrictive covenant, under the Land Title Act, with the *Regional District* of Central Okanagan, to ensure that one home is designated the *accessory home* to accommodate the *household* of an agricultural worker or caretaker.

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[Note: *Accessory homes* shall comply with all relevant *Regional District* bylaws and the BC Building Code]

[Note: No *accessory home* will be permitted without connection to a community sanitary sewer unless the *parcel* meets the requirements of the Okanagan Similkameen Health Region for on site sewage disposal for the *accessory home*.]

[There are limitations on parking areas in the front *setback*]

3.19 Home Based Business, Standard

A standard *home based business* is subject to the following regulations:

1. A standard *home based business* is an *accessory use* that shall only be conducted within the principal residential *building* (and accessory home where permitted) and within up to one accessory *building*.
2. A standard *home based business* shall not occupy more than 25% of the floor area of the *principal building*, and in no case shall the combined area of the *principal building* used for the business and an accessory *building* used for the business exceed 50 m² (538.2 sq. ft.).
3. The standard *home based business* shall not be operated in a manner that routinely generates more than 3 client visits at any one time.
4. The occupant shall be the operator of the home based business. No more than one person in addition to the residents of the principal residence where the standard *home based business* is being operated, shall work on the *parcel* in which the standard *home based business* is located.
5. A standard *home based business*:
 - a) shall not create a hazardous or dangerous condition for the neighbourhood or the environment;
 - b) shall not generate sound from machinery at the *parcel* line of the *parcel* on which the *home based business* is located;
 - c) shall not produce light in excess of 4 *Lux* outside the *parcel* on which the *home based business* is located;
 - d) shall not produce odour, smoke or dust;
 - e) shall not produce interference with radio, television, telephone or other electronic or communications device, where the interference is detectable on such a electronic or communications device located beyond the *parcel* line of the *parcel* on which the *home based business* is located.
6. A standard *home based business* is permitted to have one non-illuminated *sign* to a maximum size of 3000 cm² (465 sq. in.) attached to the principal residence or located a minimum of 1.5 m (4.9 ft.) from any *parcel* line.
7. No exterior storage of materials associated with the standard *home based business* shall be permitted.
8. No exterior evidence of the home occupation shall be visible from outside the *parcel* on which the *home based business* is located, except for a permitted *sign*.

9. Retail sales shall not be permitted in a standard *home based business* except for:

- a) Products incidental to a service being provided;
- b) Mail order sales;
- c) Telephone sales or sales where the customer does not enter the premises to inspect or pick-up goods;
- d) Direct distributorships where customers do not enter the premises to inspect, purchase or pick-up goods;
- e) Products produced on the site.

10. A standard *home based business* use shall not include:

- a) The repair or painting of vehicles, trailers, boats, commercial equipment, and industrial equipment;
- b) Welding or machine shops;
- c) Spray painting or spray coating operations.

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[Please check the list of permitted uses in each *zone* category to determine the type of *home based business* permitted. The operator of a *home based business* shall be required to hold a valid business license with the *Regional District*.]

3.20 Home Based Business, Minor

A minor *home based business* is subject to the following regulations:

1. A minor *home based business* is an *accessory use* that shall only be conducted within the *dwelling unit* or *secondary suite*.
2. The minor *home based business* shall not occupy more than 25% of the floor area of the *dwelling unit* up to a maximum of 20 m² (215.3 sq. ft.).
3. The minor *home based business* shall not be operated in a manner that routinely generates more than one client visit to the site from which the business is being operated per day.
4. The occupant shall be the operator of the home based business. No persons except those residing in the *dwelling unit* or *secondary suite* shall work in the *dwelling unit* or *secondary suite* where the minor *home based business* is being operated.
5. A minor *home based business*:
 - a) shall not create a hazardous or dangerous condition for the neighbourhood or the environment;
 - b) shall not generate sound from machinery outside the *dwelling unit* in which the *home based business* is located;
 - c) shall not produce light in excess of 4 *Lux* outside the *dwelling unit* in which the *home based business* is located;
 - d) shall not produce odour, smoke or dust.
 - e) shall not produce interference with radio, television, telephone or other electronic or communications device, where the interference is detectable on such a electronic or communications device located outside the *dwelling unit* in which the *home based business* is located.
6. No *sign* advertising the minor *home based business* is permitted.
7. No exterior storage of materials associated with the minor *home based business* is permitted.
8. No exterior evidence of the home occupation shall be visible from outside the *dwelling unit* in which the *home based business* is located.

9. Retail sales shall not be permitted in a minor *home based business* except for:

- a) Products incidental to a service being provided;
- b) Mail order sales;
- c) Telephone sales or sales where the customer does not enter the premises to inspect or pick-up goods.
- d) Direct distributorships where customers do not enter the premises to inspect, purchase or pick-up goods.

10. Minor *home based business* use shall not include:

- a) The repair or painting of vehicles, trailers, boats, commercial equipment and industrial equipment;
- b) Welding or machine shops;
- c) Spray painting or spray coating operations.

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[Please check the list of permitted uses in each *zone* category to determine the type of *home based business* permitted. The operator of a *home based business* shall be required to hold a valid business license with the *Regional District*]

3.21 Home Based Business, Major

A major *home based business* is subject to the following regulations:

1. A major *home based business* is an *accessory use* that shall only be conducted within the principal residential *building* and within up to one accessory *building*.
2. The major *home based business* shall occupy not more than 100 m² (1076 sq. ft.) of floor area, and not more than an additional 50 m² (538.2 sq. ft.) for indoor storage use.
3. Exterior storage of materials associated with the major *home-based business* shall be permitted, provided that such storage does not exceed one 50 m² (538.2 sq. ft.) area, which is enclosed by a *solid screen*.
4. An exterior storage area shall be set back at least 15 m (49.2 ft.) from any *parcel* line.
5. The major *home based business* shall not be operated in a manner that routinely generates more than three client visits at any one time.
6. The occupant shall be the operator of the home based business. No more than two persons, in addition to the residents of the principal residence where the major *home based business* is being operated , shall work on the *parcel* in which the major *home based business* is located.
7. A major *home based business*:
 - a) shall not create a hazardous or dangerous condition for the neighbourhood or the environment;
 - b) shall not generate sound in excess of 55 *dba* at a *parcel* line of the *parcel* on which the *home based business* is located;
 - c) shall not produce light in excess of 4 *Lux* outside the *parcel* on which the *home based business* is located;
 - d) shall not produce odour, smoke or dust.
 - e) shall not produce interference with radio, television, telephone or other electronic or communications device, where the interference is detectable on such a electronic or communications device located beyond the *parcel* line of the *parcel* on which the *home based business* is located.

8. A major *home based business* is not permitted to have more than:
- a) one *sign* to a maximum size of 1.0 m² (10.8 sq. ft.), attached to the *building* in which the *home based business* is located, and;
 - b) one free standing *sign* to a maximum size of 1.0 m² (10.8 sq. ft.), located on the *parcel* on which the *home based business* is located, and 1.5 m (4.9 ft.) from a *parcel* line.
9. No major *home based business* shall be used for the salvage or storage of derelict vehicles and equipment, used *building* or domestic products and similar discarded materials.
10. Retail sales shall not be permitted in a major *home based business* except for:
- a) Products incidental to a service being provided;
 - b) Mail order sales;
 - c) Telephone sales or sales where the customer does not enter the premises to inspect or pick-up goods;
 - d) Direct distributorships where customers does not enter the premises to inspect, purchase or pick-up goods;
 - e) Products produced on the site.

[Please check the list of permitted uses in each *zone* category to determine the type of *home based business* permitted. The operator of a *home based business* shall be required to hold a valid business license with the *Regional District*]

3.22 Home Based Business In An Agricultural Zone

A *home based business* in an Agricultural zone is subject to the following regulations:

1. A *home based business* in an Agricultural zone is accessory to the principal use and shall only be conducted fully within the principal residential *building* and accessory *buildings*.
2. A *home based business* in an Agricultural zone shall not occupy more than 100m² (1076.4 sq. ft.) of floor area and not more than an additional 50m² for indoor storage use. Bylaw
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3. No more than two persons, in addition to the residents of the principal residence where the *home based business* in an Agricultural zone is being operated shall work in the *home based business* on the *parcel* in which the *home based business* in a Agricultural zone is located.
4. No exterior storage of materials associated with the *home-based business* in an Agricultural zone is permitted except on parcels greater than 2 ha in size, and provided that such storage does not exceed one 50m² (538.2 sq.ft.) area, which is enclosed by a solid screen. Bylaw
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5. The *home based business* in an Agricultural zone:
 - a) shall not create a hazardous or dangerous condition for the neighbourhood or the environment;
 - b) shall not generate sound in excess of 55 *dBA* at a *parcel* line of the *parcel* on which the *home based business* is located;
 - c) shall not produce light in excess of 4 *Lux* outside the *parcel* on which the *home based business* is located;
 - d) shall not produce odour, smoke or dust.
 - e) shall not produce interference with radio, television, telephone or other electronic or communications device, where the interference is detectable on such a electronic or communications device located beyond the *parcel* line of the *parcel* on which the *home based business* is located.
6. The *home based business* in a Agricultural zone is not permitted to have more than:
 - a) one *sign* to a maximum size of 1.0 m² (10.8 sq. ft.), attached to the *building* in which the *home based business* is located, and;
 - b) one free standing *sign* to a maximum size of 1.0 m² (10.8 sq. ft.), located on the *parcel* on which the *home based business* is located, and 1.5 m (4.9 ft.) from a *parcel* line.

[Please check the list of permitted uses in each *zone* category to determine the type of *home based business* permitted. The operator of the *home based business* shall be required to hold a valid business license with the *Regional District*]

3.23 Bed and Breakfast Accommodation

A *bed and breakfast accommodation* is subject to the following regulations:

1. A *bed and breakfast accommodation* shall only be conducted within the principal *single detached house*.
2. A *bed and breakfast accommodation* shall be an *accessory use*.
3. No more than 4 *guest rooms* are permitted in a *bed and breakfast accommodation*.
4. No *guest room* in the *bed and breakfast accommodation* shall have an area of more than 30 m² (323 sq. ft.); a separate or ensuite washroom are not included as part of the area of the *guest room*.
5. No exterior evidence of the bed and breakfast shall be visible from outside the *parcel* on which the bed and breakfast is located, except for a permitted *sign* and the required parking.
6. A *bed and breakfast accommodation* is permitted to have no more than one *sign* to a maximum size of 3000 cm² (465 sq. in.), located on the *single detached house* or at least 1.5 m (4.9 ft.) from any *parcel* line.
7. One *parking space* per *guest room* is required in addition to those required for the principal dwelling.
8. A *bed and breakfast* is not permitted in conjunction with a *secondary suite*.

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[Note: To determine if *Bed and breakfast accommodation* is permitted in a particular *zone*, please check the list of permitted uses in each *zone* category.

[Note see section 3.7 for limitations on parking areas in the front *setback*. Also note the definition of *parking space*]

[Note: A bed and breakfast home shall comply with the BC Building Code and other fire and health regulations.]

3.24 Agri Tourist Accommodation

Agri tourist accommodation is subject to the following regulations:

1. *Agri tourist accommodation* shall be an *accessory use*.
2. No more than 10 *guest rooms* are permitted on *parcels* 3.8 ha (9.4 acres) or larger.
3. No more than 4 *guest rooms* are permitted on *parcels* smaller than 3.8 ha (9.4 acres).

[Note: Land Reserve Commission approval is required for *agri tourist accommodation* with more than 10 *guest rooms* on lands within the Agricultural Land Reserve.] Applications can be obtained from the Regional District Planning Department.

4. No *guest room* in the *agri tourist accommodation* shall have an area of more than 30 m² (323 sq. ft.); a separate or ensuite washroom are not included as part of the area of the *guest room*.
5. One *parking space* per *guest room* is required in addition to those required for the principal dwelling.

3.25 Temporary Agricultural Worker Dwellings and Accommodation

1. Temporary agricultural worker dwellings are subject to the following regulations:
 - a) A maximum of 1 temporary agricultural worker dwelling is permitted per 3.8 ha (9.4 acres) of *parcel area*.
 - b) A temporary agricultural worker dwelling shall not exceed 50 m² (530 sq. ft) in *gross floor area*.
 - c) The temporary agricultural worker dwelling shall be used for the temporary accommodation of seasonal agricultural workers who are employed by the owner of the *parcel* to work in the owner's agricultural operation.
2. On a *parcel* in an *A zone*, tents or *recreational vehicles* are permitted to provide accommodation for seasonal agricultural workers for a maximum of 180 days in one calendar year provided that the seasonal agricultural workers are employed with the agricultural operation that owns or leases the land upon which they are camping.

[Note: Any tents or recreational vehicles for itinerant workers must provide sanitary facilities as required by the Okanagan Similkameen Health Region.]

3.26 Secondary Suites

A *secondary suite* is subject to the following regulations:

1. A *secondary suite* is added to the list of permitted uses in the A1 (in principal residence – not in accessory home), RU1, RU2, RU3, RU4, RU5, RU6 and R1 *zone* if the *zone* has an “s” notation shown on Schedule B, the Zoning Map, as part of the *zone* identification. The “s” notation shall be shown on Schedule B the Zoning Map as follows: A1s, RU1s, RU2s, RU3s, RU4s, RU5s, RU6s and R1s. An “s” zoning classification on a *parcel* shall be established by rezoning the subject *parcel* to the “s” version of the *zone*. The regulations set out for the “s” version of the *zone* will be the same as the regulations for the version without the “s”, except for the addition of *secondary suite* as a permitted use.
2. The *secondary suite* shall have its own separate cooking, sleeping and bathing facilities.
3. The *secondary suite* shall have direct access to outside without passing through any part of the principal *dwelling unit*.
4. The *secondary suite* shall be located within a *single detached house*.
5. No more than one *secondary suite* is permitted per *single detached house*.
6. The *secondary suite* shall not exceed the lesser of 90 m² (968.8 sq. ft.) or 40% of the *gross floor area* of the *principal building*.
7. A *secondary suite* is not permitted in conjunction with a bed and breakfast use.
8. A bed and breakfast is not permitted within a *secondary suite*.
9. A minor *home based business* is permitted within a *secondary suite*.
10. One *parking space* per *secondary suite* is required in addition to those required for the principal dwelling.

[Note: *Secondary suites* shall comply with all relevant *Regional District* bylaws and the BC Building Code.]

[Note: No *secondary suite* will be permitted without connection to a community sanitary sewer unless the *parcel* meets the requirements of the Okanagan Similkameen Health Region for on site sewage disposal for the *secondary suite*.]

[Note see section 3.7 for limitations on parking areas in the front *setback*. Also note the definition for *parking space*.]

3.27 Marinas with Fuel Facilities

1. A marine fuel facility is added to the list of permitted uses in the C5, C6, C7, and C8 *zone* if the *zone* has a “f” notation shown on Schedule B, the Zoning Map, as part of the *zone* identification. The “f” notation shall be shown on Schedule B the Zoning Map as follows: C5f, C6f, C7f, and C8f. A “f” zoning classification on a *parcel* shall be established by rezoning the subject *parcel* to the “f” version of the *zone*. The regulations set out for the “f” version of the *zone* will be the same as the regulations for the version without the “f”, except for the addition of *marinas* with fuel facilities as a permitted use.

3.28 Floodplain Regulations

1. The following land is designated as *floodplain*:
 - a) Land lower than the *flood construction levels* specified in this section.
 - b) Land within the *floodplain setbacks* specified in this section.
2. The following elevations are specified as *flood construction levels*, except that where more than one *flood construction level* is applicable, the higher elevation shall be the *flood construction level*:
 - a) 343.66 metres (1127.49 ft.) Geodetic Survey of Canada datum for land adjacent to Okanagan Lake;
 - b) 3.0 metres (9.8 ft.) above the *natural boundary* of Mission Creek;
 - c) 1.5 metres (4.9 ft.) above the *natural boundary* of any other *watercourse*;
3. The following distances are specified as *floodplain setbacks*, except that where more than one *floodplain setback* is applicable, the greater distance shall be the *floodplain setback*:
 - a) 7.5 metres (24.6 ft.) from the *natural boundary* of a lake, swamp or pond;
 - b) 30.0 metres (98.4 ft.) from the *natural boundary* of Mission Creek;
 - c) 15.0 metres (49.2 ft.) from the *natural boundary* of any other nearby *watercourse*;
 - d) 7.5 metres (24.6 ft.) from any *standard dyke* right-of-way, or *structure* for flood protection or seepage control.

4. By the enactment, administration or enforcement of this bylaw the Central Okanagan *Regional District* and the Province of British Columbia do not represent to any person that any *building* or *structure*, including a *manufactured home*, located, constructed, sited or used in accordance with the provisions of this bylaw, or in accordance with any advice, information, direction or guidance provided by the Central Okanagan *Regional District* in the course of the administration of this bylaw will not be damaged by flooding.

[Note:

Pursuant to the Local Government Act, after a bylaw has specified *flood construction levels* and *Floodplain setbacks*:

1. The underside of any floor system, or the top of any *pad* supporting any space or room, including a *manufactured home*, that is used for dwelling purposes, business, or the storage of goods which are susceptible to damage by floodwater shall be above that specified level; and
2. Any landfill required to support a floor system or *pad* shall not extend within any *setback* from a *watercourse* or body of water specified by the bylaw or the Minister of Environment, Lands and Parks.
3. Structural support or compacted landfill or a combination of both may be used to elevate the underside of the floor system or the top of the *pad* above the *flood construction levels*. The structural support and/or landfill shall be protected against scour and erosion from flood flows, wave action, ice and other debris.
4. The *Building* Inspector, or such person appointed by the Board of the Central Okanagan *Regional District* may require that a British Columbia Land Surveyor's certificate be required to verify compliance with the *flood construction levels* and *floodplain setbacks*. The cost of verification shall be assumed by the land owner.

General Exemptions

Pursuant to the Local Government Act, the Minister of Environment, Lands and Parks may exempt types of developments from the requirements of flood construction levels and Floodplain setbacks, subject to conditions that may be imposed. The General Exemptions which have been approved by the Minister are provided for information purposes and include:

1. That portion of a *building* or *structure* used exclusively as a carport, garage or entrance foyer;
2. Farm *buildings* excluding *dwelling units* and *buildings* for the keeping of animals;
3. Hot water tanks and furnaces behind *standard dykes*;
4. *Building* for the keeping of animals behind *standard dykes*;
5. Heavy industry behind standard dikes; and
6. On-loading and off-loading facilities associated with water-oriented industry and portable sawmills;

except that all main electrical switch gear for any of the uses listed above shall be no lower than the *flood level*]

Part 4 - Establishment of Zones

4.1 Establishment of Zones

For the purpose of the Bylaw, the area subject to this zoning bylaw shall be divided into *zones* as described in Table 4.1:

TABLE 4.1 – ZONES

COLUMN I	COLUMN II
ZONE	ZONE ELABORATION
A1	Agricultural
F1	Forest Resource
RU1	Rural 1
RU2	Rural 2
RU3	Rural 3
RU4	Country Residential
RU5	Small Lot Country Residential
RU6	Small Holdings
R1	Single Detached Housing
R1M	Manufactured home Subdivision
RMP	Manufactured home park
R2	Duplex Housing
RC1	Compact Housing
R3A	Multiple Housing (Low Density)
R3B	Multiple Housing (Medium Density)
R3C	Town Centre Multiple Housing
C1	Town Centre Commercial
C2	Neighbourhood Commercial
C3	Gasoline Service Station
C4	Service Commercial
C5	Campground, Cabin and Motel Commercial
C6	Recreation Commercial
C7	Tourist and Resort Commercial
C8	Wilderness Resort Commercial
I1	Light Industrial
I2	Heavy Industrial
I3	Timber processing and Manufacturing
I4	Gravel Extraction
I4A	Gravel Extraction with Asphalt Plant
I5	Rural Industrial

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TABLE 4.1 – ZONES continued

COLUMN I	COLUMN II
ZONE	ZONE ELABORATION
P1	Park and Open Space
P2	Institutional and Assembly
P3	Community Recreation
CD1	Comprehensive Development Zone (Sunset Ranch)
CD2	Comprehensive Development Zone (Westlake)
CD3	Comprehensive Development Zone (Gellatly Road Hotel)
CD4	Comprehensive Development Zone (Mission Ridge Estates)

4.2 Zone Title

The correct name of each *zone* provided for this Bylaw is set out in Column I of Table 4.1. The inclusion of the names contained in Column II of Table 4.1 is for convenience only.

4.3 Location of Zones

The location of each *zone* is established on Schedule B, the Zoning Map, of this Bylaw.

4.4 Zone Boundaries

1. Where a *zone* boundary is shown on Schedule B, the Zoning Map, as following a *highway* or rail right-of-way or water course, the centre line of the right-of-way or water course shall be the *zone* boundary.
2. Where a *zone* boundary does not follow a legally defined line and where the distances are not specifically indicated, the location of the zoning boundary shall be determined by scaling from the Zoning Map shown on Schedule B of this Bylaw.
3. Undesignated Areas - any land that does not fall within a zone boundary except any land covered by water shall be deemed to be designated RU 1 Rural 1.

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4.5 Zone Regulations

1. The permitted uses table sets out the uses, *buildings* and *structures* permitted in the *zone* referred to in the title of the table, shown as "PERMITTED USES TABLE FOR 'X' ZONE", where 'X' is replaced by name of the subject *zone*. Only the uses, *buildings* and *structures* listed, and no others, are permitted in the subject *zone*.

2. The regulations table sets out the regulations that apply to the *zone* referred to in the title of the table, shown as "REGULATIONS TABLE FOR 'X' ZONE", where 'X' is replaced by name of the subject *zone*.
3. Within the regulations table, Column 1 sets out the matter to be regulated and Column 2 set out the regulations.
4. On a *parcel* in an area within the *zone* referred to in the title of the table, no *building, structure* or use shall be constructed, located or altered, and no plan of subdivision approved which contravenes the regulations set out in the regulations table.

5.1 AGRICULTURAL

A1

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Purpose: to accommodate agricultural operations and related activities located on parcels that are usually within the Agricultural Land Reserve

PERMITTED USES TABLE FOR A1 ZONE

5.1.1 Permitted uses, buildings and structures:

- | | |
|---|---|
| <ul style="list-style-type: none"> .1 <i>Agriculture</i>, including <i>intensive agriculture</i>; .2 <i>Agri tourism</i>; .3 <i>Agri tourist accommodation</i>; (see Section 3.24) .4 <i>Winery and cidery</i> .5 Greenhouses .6 <i>Home Based Business, Standard</i> on lots less than 1 ha in size (see Section 3.19) .7 <i>Home Based Business in an Agricultural Zone</i> on lots greater than 1 ha in size (see Section 3.22) .8 <i>Kennels, Service</i> (permitted only on 4 ha. or larger)* .9 <i>Kennels, Hobby</i> (permitted on properties under 4 ha)*
*(Check with RDCO Dog Control Bylaw) | <ul style="list-style-type: none"> .10 <i>Portable Saw Mill and Shake Mill</i>; .11 <i>Accessory home</i>; (see Section 3.18) .12 Retail sales of <i>processed farm products, farm products and off-farm products</i>; .13 <i>Temporary agricultural worker dwellings</i>; (may include a recreational vehicle only to accommodate the household of an agricultural worker or caretaker) .14 <i>Single detached house</i>; .15 <i>Accessory buildings and structures</i> (see Section 3.17) |
|---|---|

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REGULATIONS TABLE FOR A1 ZONE

Column 1	Column 2
5.1.2 Minimum parcel area: .1 <i>Parcel</i> inside the <i>ALR</i> (Except where conditions of Section 23(1) of the <i>Agricultural Land Commission Act</i> are applicable, the minimum lot area is 0.5 hectares (1.24 acres) .2 <i>Parcel</i> outside the <i>ALR</i>	No minimum [as determined by ALC] 4.0 ha (9.88 acres)
5.1.3 Minimum front setback	6.0 m (19.7 ft.)
5.1.4 Minimum side setback	3.0 m (9.8 ft.)
5.1.5 Minimum corner side setback	4.5 m (14.8 ft.)
5.1.6 Minimum rear setback	3.0 m (9.8 ft.)
5.1.7 Minimum setback for: .1 <i>intensive agriculture</i> from the <i>parcel line</i> .2 <i>buildings</i> housing animals (other than <i>intensive agriculture</i>) .3 <i>kennels</i> .4 <i>greenhouses</i>	30.0 m (98.4 ft.) 15.0 m (49.2 ft.) 15.0 m (49.2 ft.) 15.0 m (49.2 ft.)
5.1.8 Minimum side and rear setback for buildings with heights greater than 9.0 m and located on parcels adjacent to an R or RC-1, R3A, R3B, R3C zone	Height of the <i>building</i> minus 6.0 m [e.g. 12.0 m – 6.0 m = 6.0 m setback]
5.1.9 Maximum parcel coverage: .1 for uses other than a greenhouse .2 for greenhouses	35% of the <i>parcel area</i> 75% of the <i>parcel area</i> less the <i>parcel coverage</i> of the other uses
5.1.10 Maximum number of single detached houses	1 per <i>parcel</i>
5.1.11 Maximum building height: .1 <i>Principal buildings</i> .2 <i>Accessory buildings and structures</i> (see Section 3.17)	12.0 m (39.4 ft.) 8.0 m (26.2 ft.)

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[Note: Where land is within the Agricultural Land Reserve (ALR), additional approvals and requirements may be necessary. For example *agri tourism, agri tourist accommodation, kennels, portable saw mill and shake mill* may require Land Reserve Commission approval.]

5.2 FOREST RESOURCE

F1

Purpose: to accommodate forest and resource management uses, on large parcels that are within the Forest Land Reserve.

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PERMITTED USES TABLE FOR F1 ZONE	
5.2.1 Permitted uses buildings and structures:	
.1	Timber production, utilization and related purposes;
.2	Forage production and grazing of livestock and wildlife;
.3	Forest or wilderness oriented recreation and wilderness purposes;
.4	Water, fisheries and wildlife, biological diversity and cultural heritage purposes;
.5	<i>Dwelling unit</i> ;
.6	<i>Accessory buildings and structures.</i> (see Section 3.17)

REGULATIONS TABLE FOR F1 ZONE	
Column 1	Column 2
5.2.2 Minimum <i>parcel area</i>	4.0 ha (9.9 acres)
5.2.3 Minimum <i>front setback</i>	10.0 m (32.8 ft.)
5.2.4 Minimum <i>side setback</i>	10.0 m (32.8 ft.)
5.2.5 Minimum <i>corner side setback</i>	10.0 m (32.8 ft.)
5.2.6 Minimum <i>rear setback</i>	10.0 m (32.8 ft.)
5.2.7 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
5.2.8 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i>

[Note: Some *parcels* zoned F1 may be located within the Agricultural Land Reserve. Therefore, some uses may not be allowed in the Agricultural Land Reserve without Land Reserve Commission approval.]

6.1 RURAL 1

RU1

Purpose: To accommodate agricultural and rural uses on parcels that are 30 hectares or greater and located outside the Land Reserve.

PERMITTED USES TABLE FOR RU1 ZONE	
6.1.1 Permitted uses, buildings and structures:	
.1 <i>Agriculture</i> including <i>intensive agriculture</i> ;	.8 <i>Bed and breakfast accommodation</i> ; (see Section 3.23)
.2 <i>Agri tourism</i> ;	.9 <i>Portable</i> saw mill and portable shake mill;
.3 <i>Agri tourist accommodation</i> ; (see Section 3.24)	.10 <i>Kennels, Service</i> (permitted only on 4 ha. or larger)*
.4 <i>Single detached house</i> ;	.11 <i>Kennels, Hobby</i> (permitted on properties under 4 ha)* *(Check with RDCO Dog Control Bylaw)
.5 <i>Accessory home</i> ; (see Section 3.18)	.12 Veterinary clinic;
.6 <i>Winery and cidery</i>	.13 <i>Accessory buildings and structures</i> ;
.7 <i>Home based business</i> , major; (see Section 3.21)	.14 (see Section 3.17)
	.15 .13 Greenhouses

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REGULATIONS TABLE FOR RU1 ZONE	
Column 1	Column 2
6.1.2 Minimum <i>parcel area</i>	30 ha (74.12 acres)
6.1.3 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
6.1.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
6.1.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
6.1.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
6.1.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
6.1.8 Minimum <i>setbacks</i> from the <i>parcel line</i> for:	
.1 <i>intensive agriculture</i>	100.0 m (328.1 ft.)
.2 <i>buildings</i> housing animals (other than <i>intensive agriculture</i>)	15.0 m (49.2 ft.)
.3 <i>kennels</i>	15.0 m (49.2 ft.)
.4 <i>greenhouses</i>	15.0 m (49.2 ft.)
6.1.9 Minimum <i>side and rear setback</i> for <i>buildings</i> with <i>heights</i> greater than 9.0 m and located on <i>parcels</i> adjacent to an <i>R</i> or <i>RC1, R3A, R3B</i> zone	<i>Height</i> of the <i>building</i> minus 6.0m [e.g. 12.0 m – 6.0 m = 6.0 m setback]
6.1.10 Minimum <i>setbacks</i> from <i>A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
6.1.11 Maximum <i>parcel coverage</i>	10% of the <i>parcel area</i>
6.1.12 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
6.1.13 Maximum <i>building height</i>:	
.1 <i>Principal buildings</i>	12.0 m (39.4 ft.)
.2 <i>Accessory buildings and structures</i> (see Section 3.17)	8.0 m (26.2 ft.)

6.2 RURAL 2

RU2

Purpose: to accommodate rural residential, agricultural, home industry, and limited resource management uses on parcels of land that are 4 hectares or greater and located outside the Land Reserve.

PERMITTED USES TABLE FOR RU2 ZONE

6.2.1 Permitted uses, buildings and structures:

- .1 *Agriculture* including *intensive agriculture*;
- .2 *Single detached house*;
- .3 *Accessory home* (see Section 3.18)
- .4 *Winery and cidery*
- .5 *Home based business, major*; (see Section 3.21)
- .6 *Bed and breakfast accommodation*; (see Section 3.23)
- .7 Portable saw mill and portable shake mill;
- .8 *Kennels, Service* (permitted only on 4 ha. or larger)*
- .9 *Kennels, Hobby* (permitted on properties under 4 ha)*
*(Check with RDCO Dog Control Bylaw)
- .10 Veterinary clinic;
- .11 *Accessory buildings and structures*. (see Section 3.17)
- .12 Greenhouses
- .13 *Riding Stables*

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REGULATIONS TABLE FOR RU2 ZONE

Column 1	Column 2
6.2.2 Minimum <i>parcel area</i>	4.0 ha (9.88 acres)
6.2.3 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
6.2.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
6.2.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
6.2.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
6.2.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
6.2.8 Minimum <i>setbacks</i> from the <i>parcel line</i> for:	
.1 <i>intensive agriculture</i>	100.0 m (328.1 ft.)
.2 <i>buildings</i> housing animals (other than <i>intensive agriculture</i>)	30.0 m (98.4 ft.)
.3 <i>kennels</i>	15.0 m (49.2 ft.)
.4 <i>greenhouses</i>	15.0 m (49.2 ft.)
6.2.9 Minimum <i>side and rear setback</i> for <i>buildings</i> with <i>heights</i> greater than 9.0 m and located on <i>parcels</i> adjacent to an <i>R</i> or <i>R3</i> zone	<i>Height</i> of the <i>building</i> minus 6.0 m [e.g. 12.0 m – 6.0 m = 6.0 m setback]
6.2.10 Minimum <i>setbacks</i> from <i>A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
6.2.11 Maximum <i>parcel coverage</i>	10% of the <i>parcel area</i>
6.2.12 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
6.2.13 Maximum <i>building height</i>:	
.1 <i>Principal buildings</i>	12.0 m (39.4 ft.)
.2 <i>Accessory buildings and structures</i> (see Section 3.17)	8.0 m (26.2 ft.)

6.3 RURAL 3

RU3

Purpose: to accommodate rural residential, limited agricultural, and limited home industry uses on parcels of land that are 1 hectare or greater and located outside the Land Reserve.

PERMITTED USES TABLE FOR RU3 ZONE

6.3.1 Permitted uses, buildings and structures:

- .1 *Agriculture* excluding *intensive agriculture*;
- .2 *Single detached house*;
- .3 *Hobby kennel*;
- .4 *Home based business, standard*; (see Section 3.19)
- .5 *Bed and breakfast accommodation*; (see Section 3.23)
- .6 *Accessory buildings and structures*. (see Section 3.17)
- .7 Greenhouses

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REGULATIONS TABLE FOR RU3 ZONE

Column 1	Column 2
6.3.2 Minimum <i>parcel area</i>	1.0 ha (2.47 acres)
6.3.3 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
6.3.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
6.3.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
6.3.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
6.3.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
6.3.8 Minimum <i>setbacks</i> from the <i>parcel line</i> for:	
.1 <i>hobby kennel</i>	15.0 m (49.2 ft.)
.2 <i>buildings housing animals</i>	15.0 m (49.2 ft.)
.3 <i>greenhouses</i>	15.0 m (49.2 ft.)
6.3.9 Minimum <i>side and rear setback</i> for <i>buildings</i> with <i>heights</i> greater than 9.0 m and located on <i>parcels</i> adjacent to an <i>R</i> or <i>R3</i> zone	<i>Height of the building</i> minus 6.0 m [e.g. 12.0 m – 6.0 m = 6.0 m setback]
6.3.10 Minimum <i>setbacks</i> from <i>A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
6.3.11 Maximum <i>parcel coverage</i>	10% of the <i>parcel area</i>
6.3.12 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
6.3.13 Minimum <i>building width</i> of <i>principal building</i>	5.5 m (18.0 ft.)
6.3.14 Maximum <i>building height</i>:	
.1 <i>Principal buildings</i>	3 <i>storeys</i> to a maximum of 9.0 m (29.5 ft.)

.2 <i>Accessory buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)
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6.4 COUNTRY RESIDENTIAL RU4

Purpose: To accommodate rural residential, limited agricultural, and limited home industry uses on parcels of land that are 0.5 hectare or greater and located outside the Land Reserve.

PERMITTED USES TABLE FOR RU4 ZONE	
6.4.1 Permitted uses, buildings and structures:	
.1 <i>Agriculture</i> excluding <i>intensive agriculture</i> ;	Bylaw 871-25
.2 <i>Single detached house</i> ;	
.3 <i>Hobby kennel</i> ;	
.4 <i>Home based business, standard</i> ; (see Section 3.19)	
.5 <i>Bed and breakfast accommodation</i> ; (see Section 3.23)	
.6 <i>Accessory buildings and structures</i> . (see Section 3.17)	
.7 Greenhouses	

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REGULATIONS TABLE FOR RU4 ZONE	
Column 1	Column 2
6.4.2 Minimum <i>parcel area</i>	0.5 ha (1.24 acres.)
6.4.3 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
6.4.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
6.4.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
6.4.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
6.4.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
6.4.8 Minimum <i>setbacks</i> from the <i>parcel line</i> for:	
.1 <i>hobby kennel</i>	15.0 m (49.2 ft.)
.2 <i>buildings housing animals</i>	15.0 m (49.2 ft.)
.3 <i>greenhouses</i>	15.0 m (49.2 ft.)
6.4.9 Minimum <i>side and rear setback</i> for <i>buildings</i> with <i>heights</i> greater than 9.0 m and located on <i>parcels</i> adjacent to an <i>R</i> or <i>R3</i> zone	<i>Height of the building</i> minus 6.0 m [e.g. 12.0 m – 6.0 m = 6.0 m setback]
6.4.10 Minimum <i>setbacks</i> from <i>A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
6.4.11 Maximum <i>parcel coverage</i>	20% of the <i>parcel area</i>
6.4.12 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
6.4.13 Minimum <i>building width</i> of <i>principal building</i>	5.5 m (18.0 ft.)
6.4.14 Maximum <i>building height</i>:	
.1 <i>Principal buildings</i>	3 <i>storeys</i> to a maximum of 9.0 m (29.5 ft.)

<p>.2 <i>Accessory uses, buildings and structures</i> (see Section 3.17)</p>	<p>5.0 m (16.4 ft.)</p>
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6.5 SMALL LOT COUNTRY RESIDENTIAL

RU5

Purpose: To accommodate rural residential and limited home industry uses on smaller parcels of land that are 2500 square metres or greater and located outside the Land Reserve.

PERMITTED USES TABLE FOR RU5 ZONE	
<p>6.5.1 Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Single detached house;</i> .2 <i>Home based business, standard;</i> (see Section 3.19) .3 <i>Bed and breakfast accommodation;</i> (see Section 3.23) .4 <i>Accessory buildings and structures.</i> (see Section 3.17) 	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> Bylaw 871-25 </div>

REGULATIONS TABLE FOR RU5 ZONE	
Column 1	Column 2
6.5.2 Minimum <i>parcel area</i>	2,500 m ² (26,911 sq. ft.)
6.5.3 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
6.5.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
6.5.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
6.5.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
6.5.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
6.5.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
6.5.9 Maximum <i>parcel coverage</i>	20% of the <i>parcel area</i>
6.5.10 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
6.5.11 Minimum <i>building width of principal building</i>	5.5 m (18.0 ft.)
6.5.12 Maximum <i>building height:</i>	
.1 <i>Principal buildings</i>	3 <i>storeys</i> to a maximum of 9.0 m (29.5 ft.)
.2 <i>Accessory uses, buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)

6.6 SMALL HOLDINGS

RU6

Purpose: to accommodate single family residential, limited agricultural, and limited home industry uses on parcels of land that are 2.0 hectares or greater and located outside the Land Reserve.

PERMITTED USES TABLE FOR RU6 ZONE

6.6.1 Permitted uses, buildings and structures:

- .1 *Agriculture* excluding *intensive agriculture*;
- .2 *Single detached house*;
- .3 *Hobby kennel*;
- .4 *Home based business, standard*; (see Section 3.19)
- .5 *Bed and breakfast accommodation*; (see Section 3.23)
- .5 *Accessory buildings and structures*. (see Section 3.17)
- .7 Greenhouses
- .8 *Riding Stables*

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REGULATIONS TABLE FOR RU6 ZONE

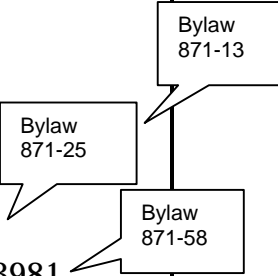
Column 1	Column 2
6.6.2 Minimum <i>parcel area</i>	2.0 ha (4.94 acres)
6.6.3 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
6.6.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
6.6.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
6.6.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
6.6.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
6.6.8 Minimum <i>setbacks</i> from the <i>parcel line</i> for:	
.1 <i>hobby kennel</i>	15.0 m (49.2 ft.)
.2 <i>buildings housing animals</i>	15.0 m (49.2 ft.)
.3 <i>greenhouses</i>	15.0 m (49.2 ft.)
6.6.9 Minimum <i>side and rear setback</i> for <i>buildings</i> with <i>heights</i> greater than 9.0 m and located on <i>parcels</i> adjacent to an <i>R</i> or <i>R3</i> zone	<i>Height of the building</i> minus 6.0 m [e.g. 12.0 m – 6.0 m = 6.0 m setback]
6.6.10 Minimum <i>setbacks</i> from <i>A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
6.6.11 Maximum <i>parcel coverage</i>	10% of the <i>parcel area</i>
6.6.12 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
6.6.13 Maximum <i>building height</i>:	
.1 <i>Principal buildings</i>	3 <i>storeys</i> to a maximum of 9.0 m (29.5 ft.)
.2 <i>Accessory uses, buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)

7.1 SINGLE DETACHED HOUSING

R1

Purpose: To accommodate low density single family residential use with some associated uses.

PERMITTED USES TABLE FOR R1 ZONE	
7.1.1 Permitted uses, buildings and structures: <ul style="list-style-type: none"> .1 <i>Single detached house;</i> .2 <i>Home based business, standard;</i> (see Section 3.19) .3 <i>Neighbourhood recreation and storage;</i> .4 <i>Bed and breakfast accommodation;</i> (see Section 3.23) .5 <i>Accessory buildings and structures.</i> (see Section 3.17) .6 Lot 1, Plan 44004, DL 581 ODYD, except. Plans KAP48178 & KAP53981 ONLY – vineyard and one single family/caretakers residence 	



REGULATIONS TABLE FOR R1 ZONE	
Column 1	Column 2
7.1.2 Minimum <i>parcel area</i>	700 m2 (7,535 sq. ft.)
7.1.3 Minimum <i>parcel frontage</i>	18.0 m (59.0 ft.)
7.1.4 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
7.1.5 Minimum <i>side setback</i>	1.5 m (4.9 ft.)
7.1.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
7.1.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
7.1.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
7.1.9 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
7.1.10 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
7.1.11 Minimum <i>building width of principal building</i>	5.5 m (18.0 ft.)
7.1.12 Maximum <i>building height:</i>	
.1 <i>Principal buildings</i>	9.0 m (29.5 ft.) to a maximum of 3 <i>storeys</i>
.2 <i>Accessory buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)

7.2 MANUFACTURED HOME SUBDIVISION

R1M

Purpose: To accommodate low density single family residential use with manufactured homes.

PERMITTED USES TABLE FOR R1M ZONE

<p>7.2.1 Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Manufactured home;</i> .2 <i>Home based business, standard;</i> (see Section 3.19) .3 <i>Accessory buildings and structures.</i> (see Section 3.17) 	<div style="border: 1px solid black; padding: 5px; width: fit-content;"> Bylaw 871-25 </div>
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REGULATIONS TABLE FOR R1M ZONE

Column 1	Column 2
7.2.2 Minimum <i>parcel area</i>	700 m2 (7,535 sq. ft.)
7.2.3 Minimum <i>parcel frontage</i>	18.0 m (59.0 ft.)
7.2.4 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
7.2.5 Minimum <i>side setback</i>	1.5 m (4.9 ft.)
7.2.6 Minimum <i>corner side setback</i>	3.0 m (9.8 ft.)
7.2.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
7.2.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
7.2.9 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
7.2.10 Maximum number of <i>manufactured homes</i>	1 per <i>parcel</i>
7.2.11 Maximum <i>building height:</i> <ul style="list-style-type: none"> .1 <i>Principal buildings</i> .2 <i>Accessory buildings and structures</i> (see Section 3.17) 	3 <i>storeys</i> to a maximum of 9.0 m (29.5 ft.) 5.0 m (16.4 ft.)

8.1 MANUFACTURED HOME PARK

RMP

Purpose: To accommodate manufactured home park developments with some associated uses.

PERMITTED USES TABLE FOR RMP ZONE																					
<p>8.1.1 Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Manufactured home park;</i> .2 <i>Home based business, minor;</i> (see Section 3.20) .3 <i>Neighbourhood recreation and storage;</i> .4 <i>Accessory buildings and structures.</i> (see Section 3.17) .5 On Part of Lot 5, Plan 23091, DL 2602 ODYD, except Plan KAP45961 ONLY – single family houses 																					
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<p>8.1.10 Maximum <i>building height</i>:</p> <ul style="list-style-type: none"> .1 <i>Principal buildings</i> .2 <i>Accessory buildings and structures</i> (see Section 3.17) 	<p>5.0 m (16.4 ft.) 4.0 m (13.1 ft.)</p>																				

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9.1 DUPLEX HOUSING

R2

Purpose: To accommodate two family residential use.

PERMITTED USES TABLE FOR R2 ZONE	
9.1.1 Permitted uses, buildings and structures: <ul style="list-style-type: none"> .1 <i>Duplex housing;</i> .2 <i>Single detached house;</i> .3 <i>Home based business, minor;</i> (see Section 3.20) .4 <i>Neighbourhood recreation and storage;</i> .5 <i>Accessory buildings and structures.</i> (see Section 3.17) 	

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REGULATIONS TABLE FOR R2 ZONE	
Column 1	Column 2
9.1.2 Minimum <i>parcel area</i>	880 m ² (9,473 sq. ft.)
9.1.3 Minimum <i>parcel frontage</i>	21.0 m (68.9 ft.)
9.1.4 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
9.1.5 Minimum <i>side setback</i>	1.5 m (4.9 ft.)
9.1.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
9.1.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
9.1.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
9.1.9 Maximum <i>parcel coverage</i>	40% of the <i>parcel area</i>
9.1.10 Maximum number of <i>single detached houses or duplex houses</i>	1 per <i>parcel</i>
9.1.11 Maximum <i>building height:</i>	
.1 <i>Principal buildings</i>	9.0 m (29.5 ft.) to a maximum of 3 <i>storeys</i>
.2 <i>Accessory uses, buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)

9.2 COMPACT HOUSING

RC1

Purpose: To accommodate multiple family density (low density) in single household form and some associated uses.

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PERMITTED USES TABLE FOR RC1 ZONE	
9.2.1	<p>Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Single detached house;</i> .2 <i>Home based business, minor;</i> (see Section 3.20) .3 <i>Neighbourhood recreation and storage</i> .4 <i>Accessory buildings and structures.</i> (see Section 3.17)

REGULATIONS TABLE FOR RC1 ZONE	
Column 1	Column 2
9.2.2 Minimum <i>parcel area</i>	400 m2 (4,306 sq. ft.)
9.2.3 Minimum <i>parcel frontage</i>	12.0 m (39.4 ft.)
9.2.4 Minimum <i>front setback</i>	2.0 m (6.6 ft.)
9.2.5 Minimum <i>side setback</i>	1.2 m (3.9 ft.)
9.2.6 Minimum <i>corner side setback</i>	2.0 m (6.6 ft.)
9.2.7 Minimum <i>rear setback</i>	2.0 m (6.6 ft.)
9.2.8 Minimum <i>setback from a highway</i>	4.5 m (14.8 ft.)
9.2.9 Minimum <i>setback from parcels in another zone</i>	4.5 m (14.8 ft.)
9.2.10 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
9.2.11 Maximum <i>parcel coverage</i>	60% of the <i>parcel area</i>
9.2.12 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
9.2.13 Minimum <i>building width of principal building</i>	5.5 m (18.0 ft.)
9.2.14 Maximum <i>building height:</i>	
.1 <i>Principal buildings</i>	9.0 m (29.5 ft.) to a maximum of 3 <i>storeys</i>
.2 <i>Accessory buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)

10.1 MULTIPLE HOUSING (Low Density)

R3A

Purpose: To accommodate multiple family density (low density) in multi housing form and some associated uses.

PERMITTED USES TABLE FOR R3A ZONE	
10.1.1 Permitted uses, buildings and structures:	
<ul style="list-style-type: none"> .1 <i>Duplex housing;</i> .2 <i>Triplex housing;</i> .3 <i>Fourplex housing;</i> .4 <i>Townhome housing;</i> .5 <i>Apartment housing;</i> 	<ul style="list-style-type: none"> .5 <i>Home based business, minor;</i> (see Section 3.20) .6 <i>Day care centre, minor;</i> .7 <i>Neighbourhood recreation and storage;</i> .8 <i>Group home, major;</i> .9 <i>Accessory buildings and structures.</i> (see Section 3.17)

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REGULATIONS TABLE FOR R3A ZONE	
Column 1	Column 2
10.1.2 Minimum <i>parcel area</i>	1,600 m2 (17,223 sq. ft.)
10.1.3 Maximum <i>density</i>	30 <i>dwelling units/ha</i>
10.1.4 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
10.1.5 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
10.1.6 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
10.1.7 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
10.1.8 Minimum <i>rear setback</i>	9.0 m (29.5 ft.)
10.1.9 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
10.1.10 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
10.1.11 Maximum <i>building height:</i>	
.1 <i>Principal buildings</i>	3 <i>storeys</i> to a maximum of 12.0 m (39.4 ft.)
.2 <i>Accessory buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)

10.2 MULTIPLE HOUSING (Medium Density)

R3B

Purpose: To accommodate multiple family density (medium density) in multi housing form and some associated uses.

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PERMITTED USES TABLE FOR R3B ZONE

10.2.1 Permitted uses, buildings and structures:

.1 Duplex housing;	.6 Home based business, minor; (see Section 3.20)
.2 Triplex housing;	.7 Day care centre, minor;
.3 Fourplex housing;	.8 Neighbourhood recreation and storage;
.4 Townhome housing;	.9 Group home, major;
.5 Apartment housing;	.10 Accessory buildings and structures. (see Section 3.17)

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REGULATIONS TABLE FOR R3B ZONE

Column 1	Column 2
10.2.2 Minimum <i>parcel area</i>	1,600 m2 (17,223 sq. ft.)
10.2.3 Maximum <i>density</i>	60 <i>dwelling units/ha</i>
10.2.4 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
10.2.5 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
10.2.6 Minimum <i>side setback</i>	4.5 m (14.8 ft.)
10.2.7 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)
10.2.8 Minimum <i>rear setback</i>	9.0 m (29.5 ft.)
10.2.9 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
10.2.10 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
10.2.11 Maximum <i>building height</i> :	
.1 <i>Principal buildings</i>	3 <i>storeys</i> to a maximum of 12.0 m (39.4 ft.)
.2 <i>Accessory buildings and structures</i> (see Section 3.17)	5.0 m (16.4 ft.)

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10.3 TOWN CENTRE MULTIPLE HOUSING

R3C

Purpose: To accommodate a denser multi housing form intended as landmark buildings in the Westbank Town Centre.

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PERMITTED USES TABLE FOR R3C ZONE

10.3.1 Permitted uses, buildings and structures:

- | | |
|--|--|
| <ul style="list-style-type: none"> .1 Duplex housing; .2 Triplex housing; .3 Fourplex housing; .4 Townhome housing; .5 Apartment housing; | <ul style="list-style-type: none"> .6 Home based business, minor; (see Section 3.20) .7 Day care centre, minor; .8 Non-commercial community facility; .9 Group home, major; .10 Accessory buildings and structures.(see Section 3.17) |
|--|--|

REGULATIONS TABLE FOR R3C ZONE

Column 1	Column 2
10.3.2 Minimum parcel area	1,600 m2 (17,222.8 sq. ft.)
10.3.3 Maximum density	111 dwelling units/ha
10.3.4 Minimum parcel frontage	30.0 m (98.4 ft.)
10.3.5 Minimum front setback	6.0 m (19.7 ft.)
10.3.6 Minimum side setback	6.0 m (19.7 ft.)
10.3.7 Minimum corner side setback	6.0 m (19.7 ft.)
10.3.8 Minimum rear setback	9.0 m (29.5 ft.)
10.3.9 Minimum setbacks from A1 Zone	15.0 m (49.2 ft.) [see section 3.11]
10.3.10 Maximum parcel coverage	35% of the parcel area
10.3.11 Maximum building height:	
.1 Principal buildings	4 storeys to a maximum of 15.0 m (49.2 ft.)
.2 Accessory buildings and structures (see Section 3.17)	5.0 m (16.4 ft.)

10.4 CONGREGATE HOUSING

R3D

Purpose: Multiple housing form for seniors which provides various services including meal preparation, laundry and transportation services, assembly halls, and indoor and outdoor amenity space.

PERMITTED USES TABLE FOR R3D ZONE	
10.4.1 Permitted uses, buildings and structures:	
.1 <i>Congregate housing;</i>	.4 <i>Group home, major;</i>
.2 <i>Home based business, minor;</i>	.5 <i>Accessory uses, buildings and structures.</i>
.3 <i>Day care centre, major;</i>	

REGULATIONS TABLE FOR R3D ZONE	
Column 1	Column 2
10.4.2 Minimum <i>parcel area</i>	1,500 m2 (16,146.4 sq. ft.)
10.4.3 Maximum <i>density</i>	160 <i>dwelling units/ha</i>
10.4.4 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
10.4.5 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
10.4.6 Minimum <i>side setback</i>	4.5 m (14.8 ft.)
10.4.7 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)
10.4.8 Minimum <i>rear setback</i>	9.0 m (29.5 ft.)
10.4.9 Minimum <i>setbacks</i> from A1 Zone	15.0 m (49.2 ft.) [see section 3.9]
10.4.10 Maximum <i>parcel coverage</i> for:	
.1 <i>Parcels</i> greater than or equal to 1.0 ha	45% of the <i>parcel area</i>
.2 <i>Parcels</i> less than 1.0 ha	35% of the <i>parcel area</i>
10.4.11 Maximum <i>building height</i>:	
.1 <i>Principal buildings</i>	4 <i>storeys</i> to a maximum of 15.0 m (49.2 ft.)
.2 <i>Accessory uses, buildings and structures</i>	5.0 m (16.4 ft.)

11.1 TOWN CENTRE COMMERCIAL

C1

Purpose: To accommodate a mix of commercial, retail, service, institutional uses primarily intended for Town Centre areas.

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PERMITTED USES TABLE FOR C1 ZONE

11.1.1 Permitted uses, buildings and structures:

.1 <i>Amusement centres;</i>	.21 <i>Micro brewery;</i>
.2 <i>Apartment housing – above street level storey;</i>	.22 <i>Motels;</i>
.3 <i>Broadcasting studios;</i>	.23 <i>Neighbourhood pub;</i>
.4 <i>Cabarets, bars and lounges;</i>	.24 <i>Office;</i>
.5 <i>Clubs;</i>	.25 <i>Personal service establishments;</i>
.6 <i>Commercial school;</i>	.26 <i>Postal and courier services;</i>
.7 <i>Congregate housing – above street level storey;</i>	.27 <i>Printing and publishing;</i>
.8 <i>Day care centre, major;</i>	.28 <i>Recreation services, indoor;</i>
.9 <i>Day care centre, minor;</i>	.29 <i>Retail stores, general;</i>
.10 <i>Restaurants;</i>	.30 <i>Second-hand stores;</i>
.11 <i>Emergency and protective services;</i>	.31 <i>Services accessory to retail sales;</i>
.12 <i>Financial institutions;</i>	.32 <i>Small religious assembly facility;</i>
.13 <i>Funeral establishments;</i>	.33 <i>Spectator entertainment establishments;</i>
.14 <i>Group home, major;</i>	.34 <i>Temporary shelter services;</i>
.15 <i>Health services facility;</i>	.35 <i>Transportation stations;</i>
.16 <i>High technology business;</i>	.36 <i>Vehicular parking areas and structures;</i>
.17 <i>Home and business support services;</i>	.37 <i>Video store;</i>
.18 <i>Hotels;</i>	.38 <i>Automotive service and repair are only permitted if a general retail store is present on the parcel;</i>
.19 <i>Household repair services;</i>	.39 <i>Accessory buildings and structures. (see Section 3.17)</i>
.20 <i>Libraries, museums and art galleries;</i>	

REGULATIONS TABLE FOR C1 ZONE

Column 1	Column 2
11.1.2 Minimum <i>parcel area</i>	400 m ² (4306 sq. ft.)
11.1.3 Minimum <i>parcel frontage</i>	5.0 m (16.4 ft.)
11.1.4 Minimum <i>front setback</i>	0 m (0 ft.)
11.1.5 Minimum <i>side setback</i>	0 m (0 ft.)
11.1.6 Minimum <i>corner side setback</i>	0 m (0 ft.)
11.1.7 Minimum <i>rear setback</i>	0 m (0 ft.)
11.1.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
11.1.9 Maximum <i>parcel coverage</i>	100% of the <i>parcel area</i>
11.1.10 Maximum <i>building height</i>	4 <i>storeys</i> to a maximum of 15.0 m (49.2 ft.)

11.2 NEIGHBOURHOOD COMMERCIAL

C2

Purpose: To accommodate a mix of small retail, service, institutional and some residential uses intended for neighbourhood areas.

PERMITTED USES TABLE FOR C2 ZONE

11.2.1 Permitted uses, buildings and structures:

- | | |
|---|---|
| <ul style="list-style-type: none"> .1 <i>Apartment housing – above street level storey;</i> .2 <i>Day care centre, major;</i> .3 <i>Day care centre, minor;</i> .4 <i>Restaurant;</i> .5 <i>Emergency and protective services;</i> .6 <i>Financial institutions;</i> .7 <i>Health services facility;</i> | <ul style="list-style-type: none"> .8 <i>Household repair services;</i> .9 <i>Office;</i> .10 <i>Personal service establishments;</i> .11 <i>Postal and courier services;</i> .12 <i>Retail stores, convenience;</i> .13 <i>Video store;</i> .14 <i>Accessory buildings and structures.</i>
(see Section 3.17) |
|---|---|

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REGULATIONS TABLE FOR C2 ZONE

Column 1	Column 2
11.2.2 Minimum <i>parcel area</i>	400 m ² (4306 sq. ft.)
11.2.3 Minimum <i>parcel frontage</i>	10.0 m (107.6 ft.)
11.2.4 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
11.2.5 Minimum <i>side setback</i>	
.1 Where the <i>parcel</i> abuts a <i>C zone</i>	0 m (0 ft.)
.2 Where the <i>parcel</i> does not abut a <i>C zone</i>	4.5 m (14.8 ft.)
11.2.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
11.2.7 Minimum <i>rear setback</i>	6.0 m (19.7 ft.)
11.2.8 Minimum <i>setbacks</i> from A1 Zone	15.0 m (49.2 ft.) [see section 3.11]
11.2.9 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
11.2.10 Maximum <i>density</i>	30 <i>dwelling units/ha</i>
11.2.11 Maximum <i>building height</i>	9.0 m (29.5 ft.)

11.3 GASOLINE SERVICE STATION

C3

Purpose: To accommodate gasoline service stations with some associated uses.

PERMITTED USES TABLE FOR C3 ZONE	
<p>11.3.1.1 Permitted uses, buildings and structures:</p> <p>.1 <i>Gasoline service station;</i></p>	
<p>11.3.1.2 Additional permitted uses, buildings and structures: The following uses, buildings and structures are only permitted where a use listed in section 11.3.1.1 exists on the <i>parcel</i>.</p> <p>.1 <i>Restaurants;</i> .2 <i>Accessory buildings and structures.</i> (see Section 3.17)</p>	

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REGULATIONS TABLE FOR C3 ZONE	
Column 1	Column 2
11.3.2 Minimum <i>parcel area</i>	600 m2 (6,459 sq. ft.)
11.3.3 Minimum <i>parcel frontage</i>	20.0 m (65.6 ft.)
11.3.4 Minimum <i>front setback for:</i>	
.1 <i>Buildings</i>	10.0 m (32.8 ft.)
.2 <i>fueling pump islands and canopies</i>	4.5 m (14.8 ft.)
11.3.5 Minimum <i>side setback</i>	5.0 m (16.4 ft.)
11.3.6 Minimum <i>corner side setback</i>	5.0 m (16.4 ft.)
11.3.7 Minimum <i>rear setback</i>	5.0 m (16.4 ft.)
11.3.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
11.3.9 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
11.3.10 Maximum <i>building height</i>	6.0 m (19.7 ft.)

11.4 SERVICE COMMERCIAL

C4

Purpose: To accommodate vehicular oriented low intensity uses and some associated uses.

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PERMITTED USES TABLE FOR C4 ZONE	
11.4.1 Permitted uses, buildings and structures:	
<ul style="list-style-type: none"> .1 <i>Agricultural markets;</i> .2 <i>Auctioneering establishment;</i> .3 <i>Automotive sales, rental, service and repair;</i> .4 <i>Broadcasting studios;</i> .5 <i>Building and hardware sales and supply centres;</i> .6 <i>Commercial card lock;</i> .7 <i>Commercial school;</i> .8 <i>Commercial storage;</i> .9 <i>Contractor services;</i> .10 <i>Discount and wholesale sales;</i> .11 <i>Dwelling unit for operator/owner or caretaker;</i> .12 <i>Emergency and protective services;</i> .13 <i>Equipment sales, rental and repair;</i> .14 <i>Food preparation, storage and catering services;</i> .15 <i>Freight and distribution outlets;</i> .16 <i>Funeral establishments;</i> .17 <i>Furniture and appliance sales and service;</i> .18 <i>Greenhouses and plant nurseries;</i> .19 <i>High technology industry;</i> .20 <i>Home and business support services;</i> .21 <i>Household repair services;</i> 	<ul style="list-style-type: none"> .22 <i>Kennels;</i> .23 <i>Manufactured home sales and rentals;</i> .24 <i>Micro brewery;</i> .25 <i>Office;</i> .26 <i>Outdoor storage yards;</i> .27 <i>Personal service establishments;</i> .28 <i>Postal and courier services;</i> .29 <i>Printing and publishing;</i> .30 <i>Recreation services, indoor;</i> .31 <i>Recreational vehicle and marine sales, service, repair and rental;</i> .32 <i>Recycling depots;</i> .33 <i>Religious assembly facility;</i> .34 <i>Restaurant;</i> .35 <i>Retail stores, general;</i> .36 <i>Second-hand stores;</i> .37 <i>Sign painting and fabricating;</i> .38 <i>Spectator entertainment establishments;</i> .39 <i>Transportation stations;</i> .40 <i>Veterinary clinic;</i> .41 <i>Warehousing</i> .42 <i>Accessory buildings and structures.</i> (see Section 3.17)

REGULATIONS TABLE FOR C4 ZONE	
Column 1	Column 2
11.4.2 Minimum <i>parcel area</i>	500 m ² (5,382 sq. ft.)
11.4.3 Minimum <i>parcel frontage</i>	15.0 m (49.2 ft.)
11.4.4 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
11.4.5 Minimum <i>side setback and rear setback</i>	
.1 Where the <i>parcel</i> abuts a <i>C</i> or <i>I zone</i>	0 m (0.0 ft.)
.2 Where the <i>parcel</i> does not abut a <i>C</i> or <i>I zone</i>	4.5 m (14.8 ft.)
11.4.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
11.4.7 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
11.4.8 Maximum <i>parcel coverage</i>	65% of the <i>parcel area</i>
11.4.9 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i> to a maximum of 1 per strata plan
11.4.10 Maximum <i>building height</i>	15.0 m (49.2 ft.)

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11.5 CAMPGROUND, CABIN AND MOTEL COMMERCIAL

C5

Purpose: To accommodate commercial tourist accommodation in the form of campgrounds, small motels and small resorts with some associated uses.

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PERMITTED USES TABLE FOR C5 ZONE	
11.5.1.1	<p>Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Tourist cabins;</i> .2 <i>Tourist campsites;</i> .3 <i>Motels;</i> .4 <i>Dwelling unit;</i>
11.5.1.2	<p>Additional permitted uses, buildings and structures: The following uses, buildings and structures are only permitted where a use listed in section 11.5.1.1 exists on the <i>parcel</i>.</p> <ul style="list-style-type: none"> .1 <i>Community and assembly halls;</i> .2 <i>Restaurants;</i> .3 <i>Retail stores, convenience;</i> .4 <i>Marinas;</i> .5 <i>Outdoor recreation equipment rental;</i> .6 <i>Accessory buildings and structures.</i> (see Section 3.17)

REGULATIONS TABLE FOR C5 ZONE	
Column 1	Column 2
11.5.2 Minimum <i>parcel area</i>	1.0 ha (2.47 acres)
11.5.3 Minimum <i>parcel frontage</i>	50.0 m (164.0 ft.)
11.5.4 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
11.5.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
11.5.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
11.5.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
11.5.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
11.5.9 Maximum <i>parcel coverage</i>	30% of the <i>parcel area</i>
11.5.10 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i> to a maximum of 1 per strata plan
11.5.11 Maximum <i>building height</i>	9.0 m (29.5 ft.)
11.5.12 Maximum <i>density</i>	20 <i>accommodation units/ha</i>

Bylaw
871-13

11.6 RECREATION COMMERCIAL

C6

Purpose: To accommodate indoor and outdoor recreation commercial oriented uses.

Bylaw
871-25

PERMITTED USES TABLE FOR C6 ZONE

11.6.1 Permitted uses, buildings and structures:

- | | |
|---|---|
| <ul style="list-style-type: none"> .1 <i>Amusement centres;</i> .2 <i>Amusement establishments, outdoor;</i> .3 <i>Clubs;</i> .4 <i>Drive-in theatres;</i> .5 <i>Dwelling unit;</i> .6 <i>Golf courses;</i> .7 <i>Golf driving ranges;</i> .8 <i>Horse racing tracks;</i> .9 <i>Libraries, museums and art galleries</i> | <ul style="list-style-type: none"> .10 <i>Marinas;</i> .11 <i>Recreation services, indoor;</i> .12 <i>Recreation services, outdoor;</i> .13 <i>Restaurants;</i> .14 <i>Retail stores, general;</i> .15 <i>Riding stables;</i> .16 <i>Rodeo and gymkhana grounds;</i> .17 <i>Accessory buildings and structures</i>
(see Section 3.17) |
|---|---|

REGULATIONS TABLE FOR C6 ZONE

Column 1	Column 2
11.6.2 Minimum <i>parcel area</i>	1000 m ² (10,764 sq. ft.)
11.6.3 Minimum <i>parcel frontage</i>	20.0 m (65.6 ft.)
11.6.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
11.6.5 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
11.6.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
11.6.7 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
11.6.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
11.6.9 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
11.6.10 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i> to a maximum of 1 per strata plan
11.6.11 Maximum <i>building height</i>	9.0 m (29.5 ft.)

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871-13

11.7 TOURIST AND RESORT COMMERCIAL

C7

Purpose: To accommodate commercial tourist accommodation in the form of large motels, hotels and large resorts.

PERMITTED USES TABLE FOR C7 ZONE

11.7.1 Permitted uses, buildings and structures:		Bylaw 871-25
.1 <i>Amusement establishments, outdoor</i>	.11 <i>Recreation services, indoor;</i>	
.2 <i>Automobile rental;</i>	.12 <i>Recreation services, outdoor;</i>	
.3 <i>Dwelling unit;</i>	.13 <i>Resort apartments;</i>	
.4 <i>Golf courses;</i>	.14 <i>Resort townhomes;</i>	
.5 <i>Golf driving ranges;</i>	.15 <i>Restaurants;</i>	
.6 <i>Hotel;</i>	.16 <i>Retail stores, convenience;</i>	
.7 <i>Marinas;</i>	.17 <i>Riding stables;</i>	
.8 <i>Motel;</i>	.18 <i>Tourist cabins;</i>	
.9 <i>Outdoor recreation equipment rental;</i>	.19 <i>Tourist campsites;</i>	
.10 <i>Personal service establishments;</i>	.20 <i>Accessory buildings and structures. (see Section 3.17)</i>	

REGULATIONS TABLE FOR C7 ZONE

Column 1	Column 2	Bylaw 871-13
11.7.2 Minimum <i>parcel area</i>	1000 m2 (10,764 sq. ft.)	
11.7.3 Minimum <i>parcel frontage</i>	20.0 m (65.6 ft.)	
11.7.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)	
11.7.5 Minimum <i>side setback</i>	6.0 m (19.7 ft.)	
11.7.6 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)	
11.7.7 Minimum <i>rear setback</i>	6.0 m (19.7 ft.)	
11.7.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]	
11.7.9 Maximum <i>parcel coverage</i>	40% of the <i>parcel area</i>	
11.7.10 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i> to a maximum of 1 per strata plan	
11.7.11 Maximum <i>building height</i>	4 <i>storeys</i> to a maximum of 15.0 m (49.2 ft.)	

11.8 WILDERNESS RESORT COMMERCIAL

C8

Purpose: To accommodate wilderness oriented tourist accommodation with associated uses.

PERMITTED USES TABLE FOR C8 ZONE	
<p>11.8.1.1 Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 Guiding and outfitting establishments; .2 <i>Tourist cabins;</i> .3 <i>Tourist campsites;</i> .4 <i>Tourist lodges;</i> .5 <i>Dwelling unit ;</i> 	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> Bylaw 871-25 </div>
<p>11.8.1.2 Additional permitted uses, buildings and structures: The following uses, buildings and structures are only permitted where a use listed in section 11.8.1.1 exists on the <i>parcel</i>.</p> <ul style="list-style-type: none"> .1 <i>Community and assembly halls;</i> .2 <i>Marinas;</i> .3 Mini golf; .4 <i>Outdoor recreation equipment rental;</i> .5 <i>Restaurants;</i> .6 <i>Retail stores, convenience;</i> .7 Riding stables; .8 <i>Accessory buildings and structures.</i> (see Section 3.17) 	

REGULATIONS TABLE FOR C8 ZONE	
Column 1	Column 2
11.8.2 Minimum <i>parcel area</i>	5000 m2 (1.24 acres)
11.8.3 Minimum <i>parcel frontage</i>	20.0 m (65.6 ft.)
11.8.4 Minimum <i>front setback</i>	6.0 m (19.7 ft.)
11.8.5 Minimum <i>side setback</i>	6.0 m (19.7 ft.)
11.8.6 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)
11.8.7 Minimum <i>rear setback</i>	6.0 m (19.7 ft.)
11.8.8 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
11.8.9 Maximum <i>parcel coverage</i>	30% of the <i>parcel area</i>
11.8.10 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i> to a maximum of 1 per strata plan
11.8.11 Maximum <i>building height</i>	9.0 m (29.5 ft.)
11.8.12 Maximum <i>density</i>	25 <i>wilderness accommodation units/ha</i>
11.8.13 Maximum number of <i>wilderness accommodation units</i>	50 <i>wilderness accommodation units per parcel</i>

12.1 LIGHT INDUSTRIAL

I1

Purpose: To accommodate light industrial activity.

Bylaw
871-25

PERMITTED USES TABLE FOR I1 ZONE

12.1.1 Permitted uses, buildings and structures:

- | | |
|---|---|
| <ul style="list-style-type: none"> .1 <i>Aircraft facilities;</i> .2 <i>Auctioneering establishment;</i> .3 <i>Automotive sales, rental, service and repair;</i> .4 <i>Building and hardware sales and supply centres;</i> .5 <i>Commercial card lock;</i> .6 <i>Commercial school;</i> .7 <i>Commercial storage;</i> .8 <i>Contractor services;</i> .9 <i>Discount and wholesale sales;</i> .10 <i>Dwelling unit for owner/operator or caretaker;</i> .11 <i>Emergency and protective services;</i> .12 <i>Equipment sales, rental and repair;</i> .13 <i>Freight and distribution outlets;</i> .14 <i>Greenhouses and plant nurseries;</i> .15 <i>Heavy equipment sales, rental and repair;</i> .16 <i>High technology industry;</i> .17 <i>Home and business support services;</i> .18 <i>Kennels;</i> | <ul style="list-style-type: none"> .19 <i>Manufacturing</i> excluding foundries, saw mills, electroplating and chemical plants and other similar uses; .20 <i>Meat and produce processing, packing and canning</i> excluding slaughterhouses and rendering plants; .21 <i>Micro brewery;</i> .22 <i>Office;</i> .23 <i>Outdoor storage yards;</i> .24 <i>Personal service establishments;</i> .25 <i>Recreation services, indoor;</i> .26 <i>Recreational vehicle</i> and marine sales, service, repair and rental; .27 <i>Restaurants;</i> .28 <i>Retail sales</i> accessory to manufacturing, processing or major repair operations on the same site; .29 <i>Utility service;</i> .30 <i>Veterinary clinic;</i> .31 <i>Warehousing;</i> .32 <i>Accessory buildings and structures;</i> (see Section 3.17) |
|---|---|

REGULATIONS TABLE FOR I1 ZONE

Column 1	Column 2
12.1.2 Minimum <i>parcel area</i>	400 m ² (4,306 sq. ft.)
12.1.3 Minimum <i>parcel frontage</i>	12.0 m (39.4 ft.)
12.1.4 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
12.1.5 Minimum <i>side setback and rear setback</i>	
1. Where the <i>parcel</i> abuts a <i>C-4</i> or <i>I zone</i>	0 m (0 ft.)
2. Where the <i>parcel</i> does not abut a <i>C</i> or <i>I zone</i>	4.5 m (14.8 ft.)
12.1.6 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
12.1.7 Maximum <i>parcel coverage</i>	75% of the <i>parcel area</i>
12.1.8 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i>
12.1.9 Maximum <i>building height</i>	12.0 m (39.4 ft.)

12.2 HEAVY INDUSTRIAL

I2

Purpose: To accommodate heavy industry and heavy industrial oriented development.

Bylaw
871-25

PERMITTED USES TABLE FOR I2 ZONE	
12.2.1 Permitted uses, buildings and structures:	
<ul style="list-style-type: none"> .1 <i>Aircraft facilities;</i> .2 <i>Autobody repair and paint shops;</i> .3 <i>Commercial card lock;</i> .4 <i>Contractor services;</i> .5 <i>Dwelling unit for owner/operator or caretaker;</i> .6 <i>Freight and distribution outlets;</i> .7 <i>Heavy equipment sales, rental and repair;</i> .8 <i>Manufacturing;</i> .9 <i>Saw mills and planer mills;</i> .10 <i>Resource mining and extraction;</i> 	<ul style="list-style-type: none"> .11 <i>Meat processing, packing and canning including slaughterhouse and rendering plants;</i> .12 <i>Outdoor storage yards;</i> .13 <i>Retail sales and office uses accessory to other uses in the I2 zone;</i> .14 <i>Storage of bulk fuel, chemicals and other petroleum products;</i> .15 <i>Utility service;</i> .16 <i>Wrecking yard;</i> .17 <i>Accessory buildings and structures.</i> (see Section 3.17)

REGULATIONS TABLE FOR I2 ZONE	
Column 1	Column 2
12.2.2 Minimum <i>parcel area</i>	2000 m2 (21,529 sq. ft.)
12.2.3 Minimum <i>parcel frontage</i>	30.0 m (98.4 ft.)
12.2.4 Minimum <i>front setback</i>	8.0 m (26.2 ft.)
12.2.5 Minimum <i>side setback and rear setback</i>	
.1 Where the <i>parcel</i> abuts a <i>C</i> or <i>I zone</i>	0 m (0 ft.)
.2 Where the <i>parcel</i> does not abut a <i>C</i> or <i>I zone</i>	9.0 m (29.5 ft.)
12.2.6 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)
12.2.7 Maximum <i>parcel coverage</i>	40% of the <i>parcel area</i>
12.2.8 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i>
12.2.9 Maximum <i>building height</i>	12.0 m (39.4 ft)

12.3 TIMBER PROCESSING AND MANUFACTURING

I3

Purpose: To accommodate the use of land, buildings, and structures for forest related activities.

PERMITTED USES TABLE FOR I3 ZONE

<p>12.3.1 Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Dryland sort;</i> .2 Timber processing; .3 Re-manufacturing of wood products; .4 Retail sales and office uses accessory to other uses in the I3 zone; .5 <i>Dwelling unit</i> for owner/operator or caretaker; .6 <i>Accessory buildings and structures.</i> (see Section 3.17) 	<div style="border: 1px solid black; padding: 5px; width: fit-content;"> Bylaw 871-25 </div>
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REGULATIONS TABLE FOR I3 ZONE

Column 1	Column 2
12.3.2 Minimum <i>parcel area</i>	4.0 ha (9.88acres)
12.3.3 Minimum <i>front setback</i>	
.1 on a provincial <i>highway</i>	15.0 m (49.2 ft.)
.2 not on a provincial <i>highway</i>	8.0 m (26.2 ft.)
12.3.4 Minimum <i>side setback</i>	10.0 m (32.8 ft.)
12.3.5 Minimum <i>corner side setback</i>	10.0 m (32.8 ft.)
12.3.6 Minimum <i>rear setback</i>	10.0 m (32.8 ft.)
12.3.7 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
12.3.8 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i>

12.4 GRAVEL EXTRACTION

I4

Purpose: To accommodate processing of natural sand and gravel resources for the manufacture, wholesale, and retail sale of associated products.

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PERMITTED USES TABLE FOR I4 ZONE	
12.4.1	Permitted uses, buildings and structures:
.1	Sand and gravel quarrying, extraction, crushing, sorting and screening;
.2	Manufacture, wholesale and retail of cement concrete and cement concrete aggregate products excluding asphaltic concrete;
.3	Retail sales and <i>office uses accessory</i> to other uses in the I4 zone;
.4	<i>Dwelling unit</i> for owner/operator or caretaker;
.5	<i>Accessory buildings and structures.</i> (see Section 3.17)

REGULATIONS TABLE FOR I4 ZONE	
Column 1	Column 2
12.4.2 Minimum <i>parcel area</i>	2.0 ha (4.94 acres)
12.4.3 Minimum <i>front setback</i>	8.0 m (26.2 ft.)
12.4.4 Minimum <i>side setback</i>	6.0 m (19.7 ft.)
12.4.5 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)
12.4.6 Minimum <i>rear setback</i>	6.0 m (19.7 ft.)
12.4.7 Maximum <i>parcel coverage</i>	15% of the <i>parcel area</i>
12.4.8 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i>
12.4.9 Maximum <i>building height</i>	15.0 m (49.2 ft.)

12.5 GRAVEL EXTRACTION WITH ASPHALT PLANT

I4A

Purpose: To accommodate processing of natural sand and gravel resources for the manufacture, wholesale, and retail sale of associated products, including asphalt processing.

PERMITTED USES TABLE FOR I4A ZONE	
<p>12.5.1 Permitted uses, buildings and structures:</p> <ol style="list-style-type: none"> 1. Asphalt plant; 2. Sand and gravel quarrying, extraction, crushing, sorting and screening; 3. Manufacture, wholesale and retail of concrete and concrete aggregate products; 4. Retail sales and office uses accessory to other uses in the I4A zone; 5. <i>Dwelling unit</i> for owner/operator or caretaker; 6. <i>Accessory buildings and structures.</i> (see Section 3.17) 	<div style="border: 1px solid black; padding: 5px; width: fit-content;"> Bylaw 871-25 </div>

REGULATIONS TABLE FOR I4A ZONE	
Column 1	Column 2
12.5.2 Minimum <i>parcel area</i>	2.0 ha (4.94 acres)
12.5.3 Minimum <i>front setback</i>	8.0 m (26.2 ft.)
12.5.4 Minimum <i>side setback</i>	6.0 m (19.7 ft.)
12.5.5 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)
12.5.6 Minimum <i>rear setback</i>	6.0 m (19.7 ft.)
12.5.7 Maximum <i>parcel coverage</i>	15% of the <i>parcel area</i>
12.5.8 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i>
12.5.9 Maximum <i>building height</i>	15.0 m (49.2 ft.)

12.6 RURAL INDUSTRIAL

15

Purpose: To accommodate rural oriented industrial activities and some associated uses, including the processing and storage of agricultural products.

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871-25

PERMITTED USES TABLE FOR 15 ZONE	
12.6.1.1 Permitted uses, buildings and structures:	
<ul style="list-style-type: none"> .1 <i>Agriculture</i> excluding <i>intensive agriculture</i>; .2 <i>Agricultural markets</i>; .3 <i>Agricultural produce processing, packing, canning and storage</i>; .4 <i>Dwelling unit</i> for owner/operator or caretaker; .5 <i>Winery and cidery</i>; .6 <i>Machine shops</i>; 	
12.6.1.2 Additional permitted uses, buildings and structures:	
<p>The following uses, buildings and structures are only permitted where a use listed in section 12.6.1.1 exists on the <i>parcel</i>.</p> <ul style="list-style-type: none"> .1 <i>Outdoor seating areas</i>; .2 <i>Outdoor storage yards</i>; .3 <i>Restaurant</i>; .4 <i>Retail stores, convenience</i> ; .5 <i>Accessory buildings and structures</i>. (see Section 3.17) 	

REGULATIONS TABLE FOR 15 ZONE	
Column 1	Column 2
12.6.2 Minimum <i>parcel area</i>	4,000 m ² (43,057 sq. ft.)
12.6.3 Minimum <i>parcel frontage</i>	50.0 m (164.0 ft.)
12.6.4 Minimum <i>front setback</i>	
.1 On provincial <i>highway</i>	15.0 m (49.2 ft.)
.2 Not on provincial <i>highway</i>	8.0 m (26.2 ft.)
12.6.5 Minimum <i>side setback and rear setback</i>	
.1 Where the <i>parcel</i> abuts a <i>C</i> or <i>I zone</i>	6.0 m (19.7 ft.)
.2 Where the <i>parcel</i> does not abut a <i>C</i> or <i>I zone</i>	10.0 m (32.8 ft.)
12.6.6 Minimum <i>corner side setback</i>	6.0 m (19.7 ft.)
12.6.7 Minimum <i>rear setback</i>	6.0 m (19.7 ft.)
12.6.8 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
12.6.9 Maximum number of <i>dwelling units</i>	1 per <i>parcel</i>
12.6.10 Maximum <i>building height</i>	12.0 m (39.4 ft.)

13.1 PARK AND OPEN SPACE

P1

Purpose: To accommodate parks and recreational open space and other associated uses.

PERMITTED USES TABLE FOR P1 ZONE

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871-25

13.1.1 Permitted uses, buildings and structures:

- .1 Parks and playgrounds;
- .2 *Conservation area*;
- .3 Ecological reserves;
- .4 Gift and snack shop;
- .5 *Golf courses*;
- .6 *Golf driving ranges*;
- .7 Interpretive centre;
- .8 *Recreation services, outdoor*;
- .9 *Dwelling unit*;
- .10 *Accessory buildings and structures*. (See Section 3.17)
- .11 *Religious or non-denominational camps*
- .12 **On part of Lot 2, Plan 1965, DL 3329 ODYD, only the following site specific uses are permitted: 26 seasonal residential dwelling units, accessory buildings, parking areas, and tennis court.**

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REGULATIONS TABLE FOR P1 ZONE

Column 1	Column 2
13.1.2 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
13.1.3 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
13.1.4 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
13.1.5 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
13.1.6 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
13.1.7 Maximum <i>parcel coverage</i>	35% of the <i>parcel area</i>
13.1.8 Maximum number of <i>single detached houses</i>	1 per <i>parcel</i>
13.1.9 Maximum <i>building height</i>	9.0 m (29.5 ft.)

13.2 INSTITUTIONAL AND ASSEMBLY

P2

Purpose: To accommodate administrative, institutional and service uses.

PERMITTED USES TABLE FOR P2 ZONE	
<p>13.2.1 Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Clubs and lodges;</i> .2 <i>Cemeteries;</i> .3 <i>Community and assembly halls;</i> .4 <i>Day care centre, major;</i> .5 <i>Day care centre, minor;</i> .6 <i>Emergency and protective services;</i> .7 <i>Extended medical treatment facility;</i> .8 <i>Group home, major;</i> .9 <i>Education service facility;</i> .10 <i>Libraries, museums and art galleries;</i> .11 <i>Recreation services, indoor;</i> .12 <i>Religious assembly facility;</i> .13 <i>Restaurant;</i> .14 <i>Temporary shelter services;</i> .15 <i>Transportation station;</i> .16 <i>Accessory buildings and structures. (See Section 3.17)</i> .17 <i>Religious or non-denominational camps</i> .18 <i>Recreation Services, Outdoor</i> 	
<p>13.2.2 Additional Permitted Use and Buildings: Dormitory use and building(s) are only permitted where a use listed in Section 13.2.1 exists on the parcel.</p>	

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REGULATIONS TABLE FOR P2 ZONE	
Column 1	Column 2
13.2.3 Minimum <i>parcel area</i>	700 m2 (7,535 sq. ft.)
13.2.4 Minimum <i>parcel frontage</i>	18.0 m (59.0 ft.)
13.2.5 Minimum <i>front setback</i>	4.5 m (14.8 ft.)
13.2.6 Minimum <i>side setback</i>	3.0 m (9.8 ft.)
13.2.7 Minimum <i>corner side setback</i>	4.5 m (14.8 ft.)
13.2.8 Minimum <i>rear setback</i>	3.0 m (9.8 ft.)
13.2.9 Minimum <i>setbacks from A1 Zone</i>	15.0 m (49.2 ft.) [see section 3.11]
13.2.10 Maximum <i>parcel coverage</i>	50% of the <i>parcel area</i>
13.2.11 Maximum <i>building height</i>	12.0 m (39.4 ft.)

13.3 COMMUNITY RECREATION

P3

Purpose: To accommodate active recreation, community oriented cultural centres, and some associated uses.

PERMITTED USES TABLE FOR P3 ZONE

<p>13.3.1.1 Permitted uses, buildings and structures:</p> <ul style="list-style-type: none"> .1 <i>Conservation area;</i> .2 <i>Ecological reserves;</i> .3 <i>Golf courses;</i> .4 <i>Golf driving ranges;</i> .5 <i>Recreation services, indoor;</i> .6 <i>Recreation services, outdoor;</i> .7 <i>Dwelling unit;</i> <p>13.3.1.2 Additional permitted uses, buildings and structures: The following uses, buildings and structures are only permitted where a use listed in section 13.3.1.1 exists on the <i>parcel</i>.</p> <ul style="list-style-type: none"> .1 <i>Catering services;</i> .2 <i>Community and assembly halls;</i> .3 <i>Health services facility;</i> .4 <i>Libraries, museums and art galleries;</i> .5 <i>Restaurant;</i> .6 <i>Retail stores, convenience;</i> .7 <i>Spectator entertainment establishments;</i> .8 <i>Accessory buildings and structures.</i> (see Section 3.17) 	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> Bylaw 871-25 </div>
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REGULATIONS TABLE FOR P3 ZONE

Column 1	Column 2
13.3.2 Minimum front setback	4.5 m (14.8 ft.)
13.3.3 Minimum side setback	3.0 m (9.8 ft.)
13.3.4 Minimum corner side setback	4.5 m (14.8 ft.)
13.3.5 Minimum rear setback	3.0 m (9.8 ft.)
13.3.6 Minimum setbacks from A1 Zone	15.0 m (49.2 ft.) [see section 3.11]
13.3.7 Maximum parcel coverage	50% of the <i>parcel area</i>
13.3.8 Maximum number of single detached houses	1 per <i>parcel</i>
13.3.9 Maximum building height	12.0 m (39.4 ft.)

Part 14 - OFF-STREET PARKING AND LOADING

Note: The Ministry of Transportation and Highways, in exercising its jurisdiction over highways in the Regional District, imposes parking requirements that are generally higher than the Regional District Standards set out in Table 14.1. The Ministry will apply its standards when dealing with matters that are within its jurisdiction, such as highway access permits and zoning bylaws within a radius of 800 m of the intersection of a controlled access highway with any other highway.

Regional District standards will apply with respect to the location, design and construction of the parking spaces. Regional District standards with respect to the number of spaces to be provided will also apply in any situations where the Ministry standards are lower, or where the Ministry has no jurisdiction.

14.1 Application of Regulations

The Ministry of Transportation and Highways standards for required *parking spaces* will apply when dealing with matters that are within its jurisdiction, such as *highway* access permits.

Regional District standards will apply with respect to the location, design and construction of the *parking spaces*. *Regional District* standards with respect to the required number of spaces will also apply in any situations where the Ministry of Transportation and Highways standards are lower, or where the Ministry of Transportation and Highways has no jurisdiction.

14.2 Location of Parking Spaces

1. Except for uses in the C1 *zone*, *off-street parking spaces* shall be located on the same *parcel* as the use they serve.
2. In the C1 *zone*, *off-street parking spaces* may be located on another *parcel* under the following conditions:
 - a) The *parcel* providing the *parking spaces* shall be located within 100 m (328.1 ft.) of the *building* or land use that the *parking spaces* serve; and

- b) The owner shall enter into a restrictive covenant, under the Land Title Act, with the *Regional District* of Central Okanagan, to ensure that the *parcel* or portion of the *parcel* is used only for parking that serves the *building* or land use.
 - c) The owner of the business that the *parking spaces* serve shall enter into an easement agreement with the owner of the *parcel* used for parking, to the satisfaction of the *Regional District*.
3. All parking areas shall have each space sited so as to permit unobstructed access to and egress from each space at all times.

14.3 Dimensions and Setbacks of Parking Spaces

In all *zones*, each *off-street parking space* shall be provided in accordance with the following minimum specifications:

1. Each *off-street parking space* required by this Bylaw shall be not less than 2.75 m (9.0 ft.) in *width* and 6.0 m (19.7 ft.) in length;
2. Each *off-street parking space* in a *C, I or P zone* shall be located a minimum of 6.0 m (19.7 ft.) from a *front parcel line* and 1.5 m (4.9 ft.) from any *side, corner side or rear parcel line*;
3. Each *off-street parking space* in an *R3 zone* and RMP zone shall be located a minimum of 1.5 m (4.9 ft.) from any *side or rear parcel line* and 3.0 m (9.8 ft.) from any *corner side parcel line*.

14.4 Slope of Off Street Parking

1. The maximum slope for the required *off-street parking* in the *RU zones*, and *R zones* is 12%.
2. The maximum slope for the required *off-street parking spaces* in the *C zones, I zones*, and *R3 zones* to accommodate more than 3 spaces is 6%.
3. The maximum slope applies only to the area that provides the required *parking spaces*, and not to the driveway providing access to the required *parking spaces*.

14.5 Calculating the Number of Required Off-Street Parking and Loading Spaces

The number of required *off-street parking* and *loading spaces* shall be calculated as follows:

1. The number of *off-street parking spaces* required for a use, is calculated according to the *Off-street parking* Table 14.1 of this section in which Column I sets out the use of a *building* or *parcel* and Column II sets out the number of required *parking spaces*.
2. Where the calculation of the required *off-street parking spaces* results in a fraction, one *parking space* shall be provided in respect of that fraction.
3. Where a *building* contains more than one function, the required number of spaces shall be the sum of the requirements for each function.
4. Where seating accommodation is the basis for a unit of measurement under this section and consists of benches, pews, booths or similar seating accommodation, each 0.5 m (1.6 ft.) of length of such seating shall be deemed to be one seat.

14.6 Exemptions from Parking and Loading Requirements

The regulations contained in this section shall not apply to *buildings, structures* and uses existing as of the date of adoption of this Bylaw except that:

1. any alteration or addition to an existing *building* and *structure* or change or addition to the existing use is governed by the Local Government Act;
2. the number of *off-street parking* or *loading spaces* provided prior to the date of adoption of this Bylaw shall not be reduced below the applicable *off-street parking* requirements of this section.

14.7 Access to Highways

All parking areas shall have access and egress to a *highway* or *lane* via driveways of not less than 4.5 m (14.8 ft.) or more than 9.0 m (29.5 ft.) wide each.

14.8 Parking for the Disabled

Where more than 10 parking stalls are required, every *off-street parking* facility shall provide 2% of the required stalls, with a minimum of 1 stall, for the use of physically disabled persons. Each stall shall:

1. Be at least 3.7 m (12.1 ft.) in *width* and at least 6.0 m (19.7 ft.) in length;

2. Be located as close as possible to a handicapped-accessible *building* entrance;
3. Be clearly identified for the exclusive use of physically disabled persons.

Note: The Ministry of Transportation and Highways, in exercising its jurisdiction over highways in the Regional District, imposes parking requirements that are generally higher than the Regional District Standards set out in Table 14.1. The Ministry will apply its standards when dealing with matters that are within its jurisdiction, such as highway access permits and zoning bylaws within a radius of 800 m of the intersection of a controlled access highway with any other highway.

Regional District standards will apply with respect to the location, design and construction of the parking spaces. Regional District standards with respect to the number of spaces to be provided will also apply in any situations where the Ministry standards are lower, or where the Ministry has no jurisdiction.

TABLE 14.1
REQUIRED OFF-STREET PARKING SPACES

COLUMN I (USE)	COLUMN II (REQUIRED NUMBER OF PARKING SPACES)
RESIDENTIAL	
• Single detached house	2 per dwelling
• Duplex housing	2 per dwelling unit
• Townhome housing	2 per dwelling unit
• Apartment housing <ul style="list-style-type: none"> • One bedroom • Two or more bedroom 	1 per one bedroom unit 1.5 per two or more bedroom unit
• Secondary suite	1 per suite in addition to spaces required for the principal dwelling unit
• Bed and breakfast accommodation	1 per guest room in addition to spaces required for the principal dwelling unit
• Congregate housing	0.5 per sleeping unit
• Major group home	0.75 per sleeping unit
COMMERCIAL	
• All uses in a C zone, except as listed below	3 per 100 sq m of GFA
• Restaurant	1 per 4 seats
• Hotels and Motels	1 per sleeping unit
• Gasoline service station	4 spaces in addition to spaces required for vehicle fueling.
• Golf course	6 per hole, plus parking required for other uses at the golf course
• Golf driving range	1 per Tee
INSTITUTIONAL	
• All uses in a P zone, except as listed below	2.5 per 100 m ² of GFA
• Religious assembly facility	1 per 10 seats
• Elementary School	2 per classroom
• Secondary School	5 per classroom
• College or University	10 per classroom
• Care centres	1 per 10 patrons, plus 1 per 2 employees, with a minimum of 4 spaces
INDUSTRIAL	
• All uses in an I zone	1.5 per 100 sq. m of gross floor area

Note: The Ministry of Transportation and Highways, in exercising its jurisdiction over highways in the Regional District, imposes parking requirements that are generally higher than the Regional District Standards set out in Table 14.1. The Ministry will apply its standards when dealing with matters that are within its jurisdiction, such as highway access permits and zoning bylaws within a radius of 800 m of the intersection of a controlled access highway with any other highway.

Regional District standards will apply with respect to the location, design and construction of the parking spaces. Regional District standards with respect to the number of spaces to be provided will also apply in any situations where the Ministry standards are lower, or where the Ministry has no jurisdiction.

14.9 Off-Street Loading Spaces

1. One off street *loading space* shall be provided for each use in a *C zone* and *I zone*.
2. *Off-street parking spaces* shall not be credited as off-street *loading spaces*.
3. Each off-street *loading space* shall be not less than 10.0 m (32.8 ft.) in length, 3.0 m (9.8 ft.) in *width*, and provide no less than 4.0 m (13.1 ft.) of vertical clearance.
4. Each off-street *loading space* shall be located to the rear or side of the *principal building*.

Part 15 – Definitions

In this Bylaw all words or phrases shall have their normal or common meaning except where this is changed, modified or expanded by the definitions set forth below:

ACCESSORY BUILDING OR STRUCTURE means a detached *building* or *structure* located on the same *parcel* or site as the *principal building*, the use of which is subordinate, customarily incidental, and exclusively devoted to that of the *principal building*.

ACCESSORY HOME means an accessory dwelling located on the same *parcel* as the principal dwelling, where the accessory dwelling is required for the accommodation of agricultural workers employed in the principal agricultural operation.

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ACCOMMODATION UNIT means 1 *tourist cabin* or 3.7 *tourist campsite spaces* or 1 *motel* sleeping unit.

ACCOMMODATION UNIT, WILDERNESS means 1 *tourist cabin* or 2 *tourist campsite spaces* or 1 *motel* sleeping unit.

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AGRICULTURAL MARKETS means premises used for the sale of *farm products* to the general public.

AGRICULTURAL UNIT means a live weight of 455 kg (1000 lbs) of livestock, or farmed game or any combination of them equaling 455 kg (1000 lbs) or 10 poultry.

AGRICULTURE means the use of land for the husbandry of plants and livestock and includes the storage and sale of agricultural products and the storage and repair of farm machinery and implements used on the individual farm on which the storage and repair is taking place. [subject to the approval of the Land Reserve Commission].

AGRICULTURE, INTENSIVE means the use of land, *buildings* and *structures* for:

- The confinement of poultry, livestock or fur bearing animals, where more than 10 *agricultural units* are located within a *confined livestock area, building* or *structure*.
- The growing of mushrooms, where composting is a part of the operation.

AGRI TOURISM means land, *buildings* and *structures* for the purpose of providing tourist facilities and activities directly associated with working farms and ranches. *Agri tourism* does not occupy a combined *gross floor area* of more than 200 square metres nor provide gathering or seating areas for more than 100 people. Typical uses include but are not limited to farm tours, promotional events for *farm products*, assembly uses, *indoor recreation services*, *restaurants*, and *convenience retail stores*.

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AGRI TOURIST ACCOMMODATION means accommodation for tourists on a working farm or ranch which is located within the principal dwelling and is accessory to the principal use, but also related to the principal use. *Agri tourist accommodation* does not include uses with more than 10 *guest rooms*. *Agri tourist accommodation guest rooms* are rented for rental periods of less than one month.

AIRCRAFT FACILITIES means premises used for the purposes of providing storage and servicing facilities for aircraft and includes helicopter landing *pads*, aircraft hangars, enclosed aircraft service areas and accessory office and meteorological assessment equipment.

ALLUVIAL FAN means an alluvial deposit of a stream where it issues from a steep mountain valley, a gorge onto a plain or board valley, or at the junction of a tributary stream with the main stream;

ALR means Agricultural Land Reserve.

AMENITY SPACE, INDOOR means indoor space provided specifically designed for use by all residents for cultural, social, and recreational activities. Such spaces may include but are not limited to community meeting space, sports and fitness facilities, cultural facilities, studios, workshops, swimming pools, and games rooms.

AMENITY SPACE, OUTDOOR means the part of the *parcel* intended for the outdoor use by the occupants, excluding areas within the *front setback*, *side setback*, *corner side setback* or *rear setback* of the *parcel*.

AMUSEMENT CENTRES means premises which provide video, pinball, player participation table top games, computer games, and other interactive electronic games for use by the general public.

AMUSEMENT ESTABLISHMENTS, OUTDOOR means premises for entertainment or amusement activities that primarily take place outdoors where the patrons are the primary participants. Typical uses include but are not limited to amusement parks, go-cart tracks, batting cages, water slides and miniature golf establishments.

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APARTMENT HOUSING means a single *building* other than a townhouse containing three or more *dwelling units* which has its principal access from an *at-grade* entrance common to all the *dwelling units*. Where permitted in a *C zone*, one unit or two *dwelling units* may be considered apartment housing provided that they comply with the rest of this definition.

AUCTIONEERING ESTABLISHMENT means premises used for the auctioning of goods and equipment including the temporary storage of such goods and equipment, but does not include *second-hand stores*.

AUTOMOTIVE SALES, RENTAL, SERVICE AND REPAIR means *automotive sales, rental, service and repair* with no more than 10 motor vehicles awaiting auto body repair on the site.

BED AND BREAKFAST ACCOMMODATION means a use within a single detached dwelling that provides temporary lodging for tourists and visitors where *guest rooms* are rented for rental periods of less than one month.

BUILDING means a *structure* wholly or partly enclosed by a roof or roofs supported by walls, columns or a roof, which is permanently affixed to the land and is intended for supporting or sheltering any use or occupancy by persons, animals or chattels. Does not include a recreational vehicle.

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BYLAW ENFORCEMENT OFFICER means the *Bylaw enforcement officer, Building Inspector or Chief Building Inspector, or Regional District Engineer or any other official* appointed to enforce this bylaw by the *Regional District* of Central Okanagan.

CABARETS, BARS AND LOUNGES means premises that serve primarily liquor with a maximum of 350 seats.

CIDERY means premises used for the production of beverages from orchard products.

CLUBS means premises used by a fraternal or service association or organization for club, social or recreation purposes and may include accessory *kitchen* facilities but does not include residential or itinerant accommodation. Club facilities are mainly available to club members but may be rented to the public for other functions.

COMMERCIAL BUILDING means a *building* located in a *C zone* that is not a *multiple housing building* or a single detached dwelling.

COMMERCIAL CARD LOCK means premises used for the sale and distribution of fuel to *commercial vehicles* where all bulk fuel products are stored below ground level except for propane storage tanks.

COMMERCIAL SCHOOL means development used for training, instruction, and certification in a specific trade, skill or service for the financial gain of the individual or company owning the school. Typical uses include but are not limited to secretarial, business, hairdressing, information technology, beauty, culture, dancing or music schools.

COMMERCIAL STORAGE means a premises consisting of a *building* or group of *buildings* containing lockers available for rent for the indoor storage of personal goods or a facility used exclusively to store bulk goods of a non-hazardous nature.

COMMERCIAL VEHICLE means

- a motor vehicle having permanently attached to it a truck or delivery body,
- an ambulance, casket wagon, fire apparatus, hearse, motor bus, tow car, *road building* machine, taxi and a tractor,
- a combination of vehicles, and
- other *commercial vehicles* as specified by regulation of the Lieutenant Governor in Council;

COMMUNITY AND ASSEMBLY HALLS means a *building*, or part of a *building*, used for the gathering together of groups of persons for a specific function, that may include meetings for civic, educational, political or social purposes.

COMMUNITY SEWER SYSTEM means a sanitary sewer collection system and connection to a sanitary sewer system or a system of sewage disposal works that is owned, operated and maintained by the *Regional District* or by a company operating under the Public Utilities Act, or by a strata council.

COMMUNITY WATER SYSTEM means a system of waterworks, within the meaning of the Health Act, which is owned, operated and maintained by the *Regional District*, or by a company operating under the Public Utilities Act, or an Improvement District under the Water Act, or the Local Government Act, or which is regulated under the Water Utility Act, or by a strata council.

CONFINED LIVESTOCK AREA means an outdoor, non-grazing area where livestock, poultry, or farmed game is confined by fences, other *structures* or topography, and includes feedlots, paddocks, corrals, exercise yards, and holding areas, (but does not include a seasonal feeding area such as a grazing area).

CONGREGATE HOUSING means housing in multiple unit form which provides all of the following:

- living and sleeping units;
- meal preparation facilities;
- laundry services and room cleaning;
- a minimum of 100 m² of seating area for common dining facilities;
- a minimum of 160 m² of floor area for common *community and assembly halls*;
- a minimum of 6.0 m² of *outdoor amenity space* and a minimum of 6.0 m² of *indoor amenity space* per living and sleeping unit where a minimum of 40% of the total required amenity space is provided in the form of *outdoor amenity space* and a minimum of 40% of the total required amenity space is provided in the form of *indoor amenity space*;

Such facilities may also provide other services including transportation for routine medical appointments and counseling. Such facilities may or may not be licensed by the Okanagan Similkameen Health Region.

CONSERVATION AREA means land that is preserved and protected for its unique value to itself, the surrounding area and the community as a whole. Typical examples may include land left in a natural or semi-natural state for the purpose of conserving plant life and providing sanctuary, habitat and breeding grounds for wildlife.

CONTRACTOR SERVICES means premises used for the provision of *contractor services* on a contract basis including, *road* construction, landscaping, concrete, electrical, excavation, drilling, heating and cooling, plumbing or similar services of a construction nature which require on-site storage, warehouse space and accessory sales and office space.

DAY CARE CENTRE, MAJOR means premises licensed as required under the *Community Care Facility Act* intended to provide care, educational services, and supervision for children or adults during the day or evening, and may include limited overnight accommodation for shift workers. This use includes group day care centres, out-of-school centres, and drop-in centres, intended for more than 8 persons.

DAY CARE CENTRE, MINOR means premises licensed as required under the *Community Care Facility Act* intended to provide care, educational services, and supervision for children or adults during the day or evening, and provides day care for no more than 8 persons.

dba means the abbreviation for “A-weighted decibel”, which is the unit for measuring Sounds Pressure Level when a “A-weighting” is used to approximate the frequency response of the human ear to sound.

DESIGNATED FLOOD means a flood, which may occur in any given year, of such magnitude as to equal a flood having a 200-year recurrence interval, based on a frequency analysis of unregulated historic flood records or by regional analysis where there is inadequate stream flow data available. Where the flow of a large *watercourse* is controlled by a major dam, the *designated flood* shall be set on a site specific basis.

DESIGNATED FLOOD LEVEL means the observed or calculated elevation for the *designated flood*, which is used in the calculation of the *flood construction level*.

DETENTION POND means a water body, either constructed or natural, used to temporarily store water including storm water run-off or snow-melt, but excluding waste water for later use or release into a drainage system.

DINING ROOM means that part of a *restaurant* or other *building*, which is used for the consumption of food by persons seated at booths, counters, tables or a combination thereof.

DIRECTOR OF PLANNING means the *Director of planning* of the *Regional District* of Central Okanagan.

DRYLAND SORT means premises used for the purpose of log sorting and storage.

DUPLEX HOUSING means a *building* designed and constructed exclusively to accommodate two *households* in separate *dwelling units* sharing a common party wall. It does not include a *secondary suite*.

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DWELLING UNIT means one or more rooms used for the residential accommodation of only one *household* when such room or rooms contain or provide for the installation of only one *kitchen*. Does not include a recreational vehicle.

EDUCATION SERVICE FACILITY means a facility which involves assembly for education, training, or instruction purposes, and includes administration offices required for the provision of such services on the same site. Typical uses include but are not limited to schools, community colleges, universities, and technical and vocational schools, and their administrative offices.

EMERGENCY AND PROTECTIVE SERVICES means premises used by fire protection, police, ambulance, or other such services as a base of operations.

EQUIPMENT SALES, RENTAL AND REPAIR means premises used for the sales, rental and repair of tools, appliances, recreational craft, office machines, furniture, light construction equipment, or similar items but does not include the sales, rental and repair of motor vehicles, industrial equipment, or heavy equipment.

EXTENDED MEDICAL TREATMENT FACILITY means a facility providing room, board, and surgical or other medical treatment for the sick, injured or infirm including out-patient services and accessory staff residences. Typical uses include but are not limited to hospitals, nursing homes with health care for dependent residents, mental care asylums, sanatoria, and detoxification centres.

FARM PRODUCTS means commodities or goods derived from the cultivation or husbandry of land, plants, or animals (except pets) that are grown, reared, raised or produced on a farm.

FARM PRODUCTS, PROCESSED means products that have been transformed by biological or other means including fermentation, cooking, canning, smoking or drying to increase their market value and convenience to the consumer and that comprise not less than 50% by volume, of one or more *farm products*, but not including hot and cold food items sold for on-site consumption.

FINANCIAL INSTITUTIONS means the provision of financial and investment services by a bank, trust company, investment dealer, credit union, mortgage broker, insurance company, financial planners and advisors or related business.

FIRST STOREY means the uppermost *storey* having its floor level not more than 2.0 m above *building grade*.

FLOOD LEVEL OR FLOOD CONSTRUCTION LEVEL means a *designated flood level* plus *freeboard*, or where a *designated flood level* cannot be determined, a specified *height* above a *natural boundary*, *natural ground elevation*, or any obstruction that could cause ponding.

FLOODPLAIN means an area which is susceptible to flooding from an adjoining *watercourse*, lake or other body of water.

FLOODPLAIN SETBACK means the required minimum distance from the *natural boundary* of a *watercourse*, lake, or other body of water to any landfill or structural support required to elevate a floor system or *pad* above the *flood construction level*, so as to maintain a floodway and allow for potential land erosion.

FOURPLEX HOUSING means any physical arrangement of four attached *dwelling units* intended to be occupied by separate *households* with separate entrances.

FREEBOARD means a vertical distance added to a *designated flood level*, used to establish a *flood level*;

FREIGHT AND DISTRIBUTION OUTLETS means premises that function as an origin or destination point for which vehicles are dispatched for the delivery or pick-up of goods, and which may include necessary warehouse space for the transitory storage of such goods.

FRONTAGE means the *width* of a *parcel* measured along the shortest *parcel* boundary which immediately adjoins a *highway* other than a *lane* or a *walkway*.

FUNERAL ESTABLISHMENTS means premises used for the preparation of the dead for burial or cremation and the holding of funeral services.

GASOLINE SERVICE STATION means a business which principally retails gasoline and associated petroleum products and may include the following: retail convenience store, vehicle washing facilities, and minor vehicle servicing.

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GOLF COURSES means a public or private area operated for the purpose of playing golf, and includes club house, driving range, retail store, *restaurant* and similar uses.

GOLF DRIVING RANGE means a public or private area operated for the purpose of developing golfing techniques but excludes *golf courses* and miniature *golf courses*.

GRADE means the lowest of the average levels of finished ground adjoining each exterior wall of a *building*, except that localized depressions such as for vehicle or pedestrian entrances need not be considered in the determination of average levels of finished ground.

GROSS FLOOR AREA means the sum of the floor areas of each *storey* in each *building* on a *parcel*, measured between the exterior walls of such *buildings*. The *gross floor area* includes unfinished areas such as basements but excludes garages.

GROUP HOME, MAJOR means a care facility licensed under the *Community Care Facility Act* to provide room and board for more than 6 residents with physical, mental,

social or behavioural problems that require professional care, guidance and supervision. This use does not include *temporary shelter services*.

GROUP HOME, MINOR means the use of one *dwelling unit* as a care facility licensed under the *Community Care Facility Act* for a residence for no more than 10 persons, not more than 6 of whom are residents with physical, mental, social or behavioral problems that require professional care, guidance and supervision. The character of the use is that the occupants live together as a single housekeeper group and use a common *kitchen*. This use does not include boarding or lodging houses or *temporary shelter services*.

G.S.C. means Geodetic Survey of Canada datum;

GUEST ROOM means a sleeping room that does not include a *kitchen*, used or maintained for the accommodation of an individual or individuals to whom hospitality is extended for rental periods of less than one month.

HABITABLE AREA means any space or room, including a *manufactured home*, that is or can be used for dwelling purposes, business, or the storage of goods which are susceptible to damage by floodwater.

HEALTH SERVICES FACILITY means a *building* used for the provision of physical or mental health services on an out-patient basis. Services may be of a preventative, diagnostic, treatment, therapeutic, rehabilitative or counseling nature. Typical uses include but are not limited to medical and dental offices, chiropractors, massage therapists and acupuncture clinics, naturopaths, physical therapy clinics, health clinics and counseling services. *Health services facility* does not include a veterinary clinic.

HEAVY EQUIPMENT SALES, RENTAL AND REPAIR means premises used for the sale, rental and repair of construction equipment, industrial equipment and similar types of heavy machinery.

HEIGHT means, except for single detached dwellings, *commercial buildings* or *multiple housing buildings*, the vertical distance from *grade* to the highest point of the *building* or *structure*.

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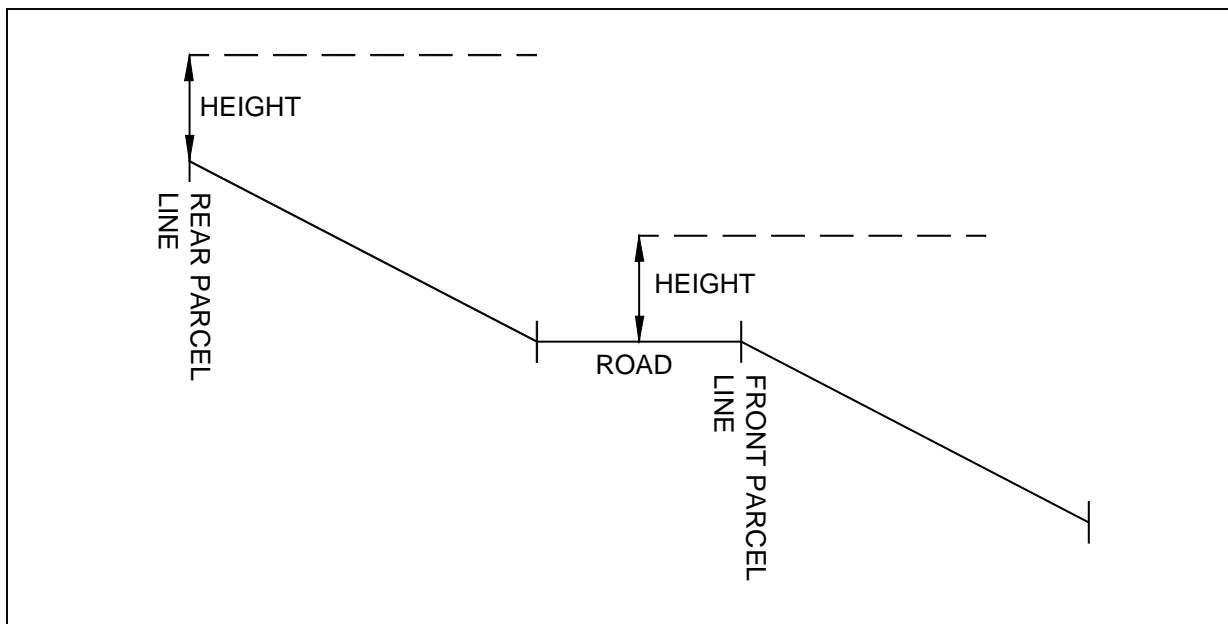
HEIGHT means, for single detached dwellings or accessory buildings to a maximum of two storeys, the vertical distance from the highest point on the *building* or *structure* down to:

- the elevation of the centerline of the *road* adjacent to the centre of the *front parcel line*, where a *parcel* is flat or slopes downward from the *road*;
- the average elevation of the *rear parcel line* where a *parcel* slopes upward from the *road*.

as shown in Figure 15.1.

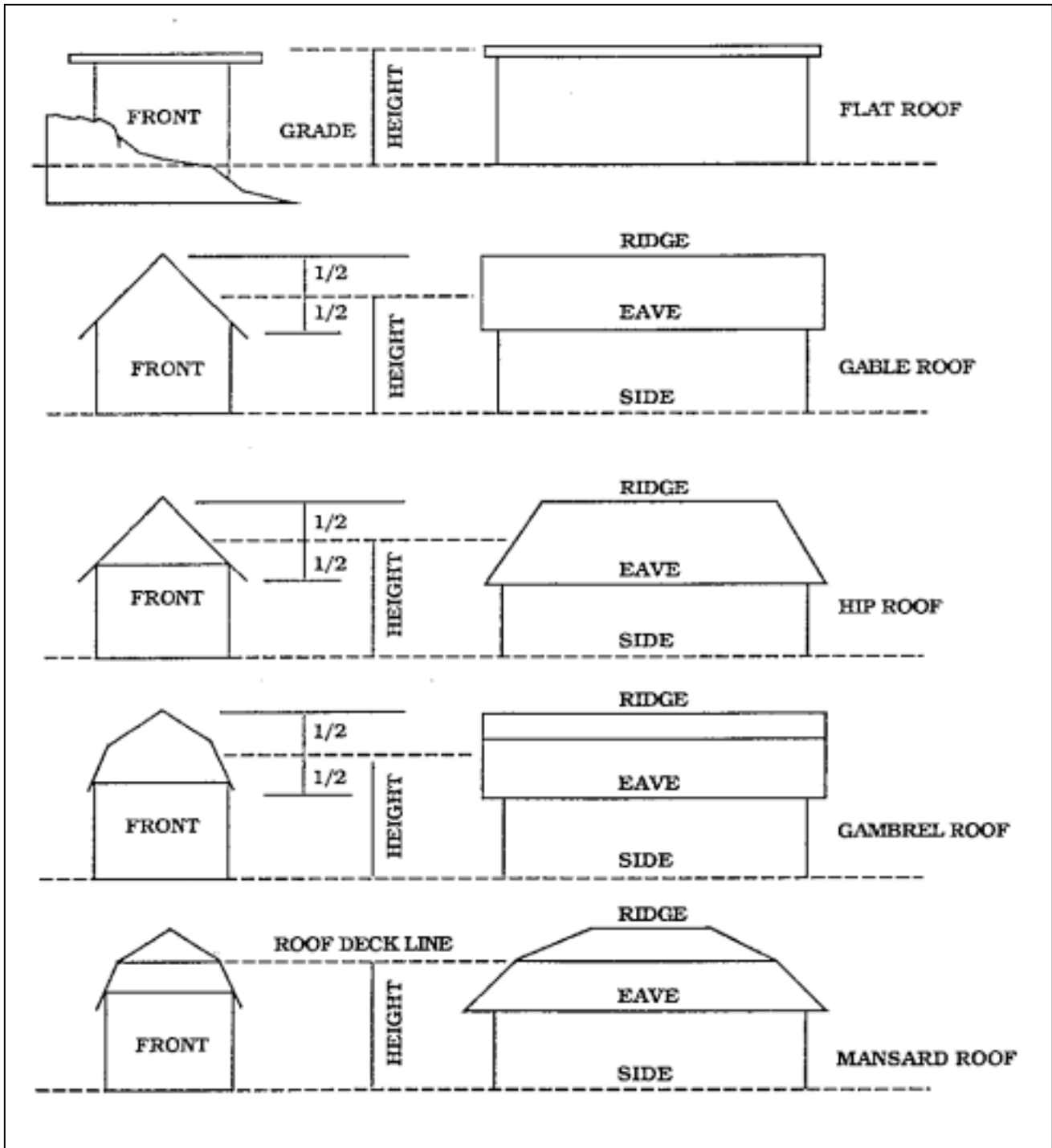
Bylaw
871-51

Figure 15.1
HEIGHT FOR SINGLE DETACHED DWELLINGS OR ACCESSORY BUILDINGS



HEIGHT means, for *commercial buildings* or *multiple housing buildings* the vertical distance measured from *grade* to the highest point of the roof surface of a flat roof, to the deck line of a mansard roof or to the level half way between the eaves and the ridge of a gable, hip, gambrel or other sloping roof as shown in figure 15.2.

Figure 15.2
ILLUSTRATION OF HEIGHT



HIGH TECHNOLOGY means uses that include but are not limited to computers, electronics, telecommunications, pharmaceuticals, or similar uses that require advanced technology.

HIGH TECHNOLOGY BUSINESS means premises for the sales, research, development and testing of *high technology* products, programs or services, but does not include the following:

- manufacture, assembly or processing of *high technology* products, and
- the use of hazardous materials and hazardous wastes.

HIGH TECHNOLOGY INDUSTRY means premises for the sales, research, testing, development, manufacture, assembly or processing of *high technology* products, programs or services, but does not include the use of hazardous materials and hazardous wastes.

HIGHWAY means a street, *road, lane*, bridge, viaduct and any other way open to public use, but does not include a private right of way on private property.

HOME AND BUSINESS SUPPORT SERVICES means support services to homes and businesses which include the following: minor mechanical equipment for printing, duplicating, binding or photographic processing; secretarial services; the provision of home and office maintenance or custodial services; the provision of home and office security; and the sale, rental, repair, or servicing of home and office computers, equipment, furniture and machines. Typical uses include but are not limited to printing establishments, testing laboratories, film processing establishments, landscape maintenance, janitorial firms and office equipment sales, repair establishments, computer sales and service, and *sign* shops.

HOME BASED BUSINESS means a business use which is accessory to the principal residential use of a *building* or *parcel*.

Bylaw
871-25

HOTEL means a *building* with a common entrance lobby and shared corridors, which provides sleeping accommodation, which may include limited cooking facilities provided as short term occupancy for owners or occupiers for periods of less than one month. The *hotel* may include retail stores convenience, *restaurants*, banquet facilities, beverage facilities, meeting and convention rooms, recreation facilities, and *personal service establishments* for the convenience of guests.

HOUSEHOLD means

- (a) A person; or
- (b) Two or more persons related by blood, marriage, or adoption; or
- (c) A group of not more than five persons, including boarders, who are not related by blood, marriage, or adoption; or
- (d) Unrelated people living together with related people provided that the number of unrelated people does not exceed 3 persons.

all living together in one *dwelling unit* as a single *household* using a common *kitchen*.

In addition, a *household* may also include up to one housekeeper or nanny or caregiver.

HOUSEHOLD REPAIR SERVICES means development used for the provision of repair to goods, equipment and small appliances normally found within the home.

KENNEL means a *hobby kennel* or a *service kennel*.

KENNEL, HOBBY means premises on which 3 to 20 dogs are kept or are intended to be kept [Note: see *Regional District of Central Okanagan Dog Control By-Law*].

KENNEL, SERVICE means premises on which more than 20 dogs are kept or are intended to be kept [Note: see *Regional District of Central Okanagan Dog Control By-Law*].

KITCHEN means facilities for the preparation or cooking of food, and includes any room containing counter, cabinets, plumbing, or wiring which, may be intended or used for the preparation or cooking of food.

LANE means a *highway* intended to provide secondary access to *parcels* of land.

LIBRARIES, MUSEUMS AND ART GALLERIES means facilities for the collection, preservation and public exhibition of literary, artistic, and musical works or objects of historical, scientific or artistic value and similar materials in the form of art pieces, books, manuscripts, recordings, and films for public enjoyment.

LOADING SPACE means a space located on a lot used for the temporary parking of one *commercial vehicle* while loading or unloading goods and materials.

LUX means a unit of illumination given in lumens per square metre.

MANUFACTURED HOME means a factory built dwelling, intended to be occupied in a place other than of its manufacture and conforming to the CSA Z240 or CSA A277 certified standard.

MANUFACTURED HOME PARK means a *parcel* of land with space designated for individual occupation by two or more *manufactured homes* and no more than one *single detached house*.

MANUFACTURED HOME SPACE means a portion of land within a *manufactured home park* intended for the exclusive use of one *manufactured home*, that is clearly defined on a plan of the *manufactured home park* in a manner similar to property line boundaries.

MANUFACTURING means premises used for the processing, finishing, refinishing, or assembly or similar production of various articles and commodities. Typical uses include but are not limited to custom workshops, factories, mills, industrial shops, and similar production facilities.

MARINA means a commercial or government establishment or premise, containing docking or mooring facilities where boats and other water vessels and their accessories are berthed, stored, serviced, repaired, constructed or kept for sale or for rent. A *marina* does not include fueling facilities. (Note: see *Part 3* of this bylaw for more information).

Bylaw
871-13

MICRO BREWERY means the use of *buildings* and *structures* for the primary purpose of brewing beer but may include accessory retail sales and seating area.

MINIMUM PONDING ELEVATION means a minimum construction level assigned to reduce possible flood damage due to ponding of local drainage during a severe local storm.

Bylaw
871-25

MOTEL means a *building* or group of *buildings* divided into self-contained sleeping units which may contain limited cooking facilities, each with a separate exterior entrance and convenient access to on-site parking, provided as short term occupancy for owners or occupiers for periods of less than one month.

MULTIPLE HOUSING BUILDING means a *building* used for *duplex, triplex, fourplex, townhome* or *apartment housing*.

NATURAL BOUNDARY means the visible high watermark of any lake, river, stream, or other body of water where the presence and action of the water are so common and usual and so long continued in all ordinary years as to mark upon the soil of the bed of the lake, river, stream, or other body of water a character distinct from that of the banks thereof, in respect to vegetation, as well as in respect to the nature of the soil itself and also includes the edge of dormant side channels of any lake, river, stream, or other body of water.

NATURAL GROUND ELEVATION means the undisturbed ground elevation prior to site preparation.

NEIGHBOURHOOD PUB means premises that serve primarily liquor, with a maximum of 85 seats.

Bylaw
871-13

NEIGHBOURHOOD RECREATION AND STORAGE means premises such as common use swimming pools or recreational vehicle storage yards, which are designed for and used exclusively by the residents of the parcel in which they are located. The neighbourhood recreation and storage shall be accessory to the principle residential use of the parcel.

Bylaw
871-25

OFF-FARM PRODUCTS means products that are not *farm products* or *processed farm products* and includes any commodities or goods of the kind referred to in the definition of "*farm products*" that are not grown, reared, raised or produced on the farm on the *agricultural land* from which they are being sold.

OFF-STREET PARKING means a use providing *parking spaces* for the temporary storage of vehicles, not located within a public right of way.

OUTDOOR RECREATION EQUIPMENT RENTAL means premises used for the rental or sale of outdoor recreation equipment including kayaks, canoes, paddle wheels, row boats, sail boats, sail boards, motor boats, jet skis, and sea-doods, and bicycles, in-line skates, mountain climbing gear, hiking supplies and other similar products.

Bylaw
871-25

OUTDOOR STORAGE YARDS means the storage of equipment, goods, and materials in the open air. *Outdoor storage yards* do not include the storage of wrecked motor vehicles.

PAD means a surface on which blocks, posts, runners or strip footings are placed for the purpose of supporting a *manufactured home*, or a concrete *pad* for supporting a *habitable area*.

PARCEL means any lot, block or other area in which land is held, or into which land is subdivided but does not include a *highway*.

PARCEL AREA means the total horizontal area within the *parcel* lines of a *parcel*.

PARCEL COVERAGE means the percent of the *parcel area* covered by *principal buildings, accessory buildings and structures*; except where exempted in this bylaw [see section 3.4].

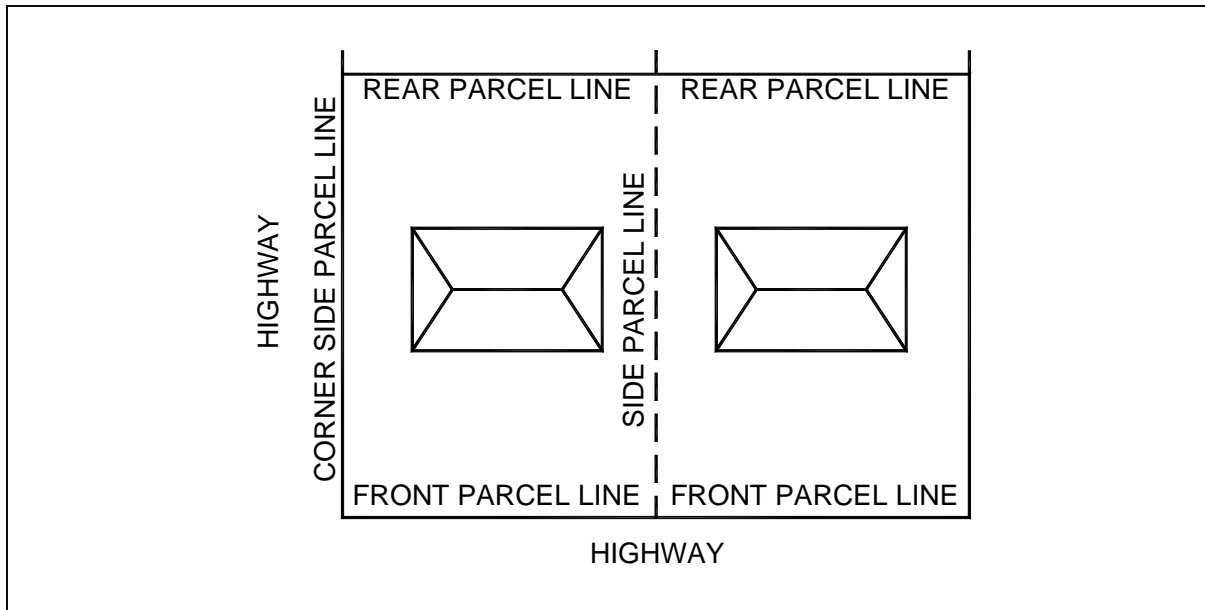
PARCEL LINE, CORNER SIDE as illustrated in Figure 15.3, means a *parcel* line other than the *front parcel line*, which abuts a *highway* (or a limited common property *road* in a bare land strata), other than a *lane* on a corner *parcel*.

PARCEL LINE, FRONT as illustrated in Figure 15.3, means the shortest *parcel* line common to a *parcel* and a *highway* (or a limited common property *road* in a bare land strata), other than a *lane*. In the case of a *parcel* abutting two parallel *highways* (or limited common property *roads*), the *parcel* lines abutting these two *highways* shall both be considered as *front parcel lines*.

PARCEL LINE, SIDE as illustrated in Figure 15.3, means a *parcel* line between two or more *parcels*, other than a front or rear *parcel line*. The *side parcel line* also includes a *parcel* line between the *parcel* and a *lane* along the side of the *parcel*.

PARCEL LINE, REAR as illustrated in Figure 15.3, means the boundary of a *parcel* which lies the most opposite to and is not connected to the *front parcel line*.

Figure 15.3
ILLUSTRATION OF *PARCEL* LINES



PARKING SPACE means an area defined for the parking of one motor vehicle and does not include an aisle space or driveway.

PERSONAL SERVICE ESTABLISHMENTS means premises that provide personal services to an individual which are related to the care and appearance of the body or the cleaning and repair of personal effects. Typical uses include but are not limited to barber shops, hair salons, shoe repair shops, dry cleaning and laundry establishments.

PRINCIPAL BUILDING means a *building* which:

- occupies the major or central portion of a *parcel*;
- is the chief or main *building* on the *parcel*; and
- constitutes, by reason of its use, the primary purpose for which the *parcel* is used.

RECREATIONAL VEHICLE, means a vehicle intended as a temporary accommodation for travel, vacation, or recreational use and includes travel trailers, motorized homes, slide-in campers, chassis-mounted campers and tent trailers. *Recreational vehicle* also means sea-doo's and other personal watercraft, all terrain vehicles, snowmobiles, and boats.

RECREATION SERVICES, INDOOR means facilities within an enclosed *building* for sports, active recreation and performing and cultural arts and may include *restaurants* and *convenience retail stores*. Typical uses include but are not limited to athletic *clubs*, health and fitness *clubs*, indoor skating rinks, swimming pools, bowling alleys and racquet *clubs*.

RECREATION SERVICES, OUTDOOR means facilities which are available to the public at large for sports and active recreation conducted outdoors. Typical uses include but are not limited to ball fields, and soccer fields. Outdoor recreation services do not include camping.

RECYCLING DEPOTS means a facility used for the buying, collecting, sorting, and temporary storage of bottles, cans, newspapers and similar *household* goods for reuse and recycling.

REGIONAL BOARD means the elected board of the *Regional District*.

REGIONAL DISTRICT means the *Regional District* of the Central Okanagan as described in its Letters Patent and amendments thereto but shall not include incorporated municipalities.

RELIGIOUS ASSEMBLY FACILITY means a facility where people regularly assemble for religious worship and related religious, philanthropic or social activities, which is maintained and controlled for public worship. Typical uses include but are not limited to churches, chapels, synagogues, monasteries, temples, and convents. It also includes an accessory residence for the minister or someone of similar position.

Bylaw
871-25

RELIGIOUS OR NON-DENOMINATIONAL CAMP means a facility that provides for a group camping experience with the participants sleeping in tents, recreational vehicles, sleeping cabins or dormitories for periods of less than one (1) month. Such a camp may contain accessory facilities for preparation and consumption of food, recreation, study and worship.

Bylaw
871-25

RESORT APARTMENTS means *apartment housing* that provides sleeping accommodation provided as short term occupancy for owners or occupiers for periods of less than one month. The *resort apartment* may include accessory facilities such as *restaurants*, banquet and convention rooms, recreation facilities and *personal service establishments* for the convenience of guests.

Bylaw
871-25

RESORT TOWNHOMES means *townhome housing* that provides sleeping accommodation provided as short term occupancy for owners or occupiers for periods of less than one month. The *resort townhome* may include accessory facilities such as *eating and drinking establishments*, banquet and convention rooms, recreation facilities and *personal service establishments* for the convenience of guests.

Bylaw
871-25

RESTAURANT includes *take-out restaurants* and *drive-through restaurants*.

RESTAURANT, DRIVE-THROUGH means premises where food or beverages are prepared and sold to customers in motor vehicles, regardless of whether or not it also serves prepared food or beverages to customers who are not in motor vehicles, for consumption either on or off the premises.

RESTAURANT, TAKE-OUT means premises where food or beverages are prepared and sold and picked up by customers for consumption off the premises.

RETAIL STORES, CONVENIENCE means premises used for the retail sales of those goods required by area residents or employees on a day to day basis, from business premises which do not exceed 500 m² in *gross floor area*. Typical uses include but are not limited to small food stores, drug stores, and variety stores selling confectionery tobacco, groceries, beverages, pharmaceutical and personal care items, hardware or printed matter.

RETAIL STORES, GENERAL means premises where goods, merchandise, other materials, and personal services are offered for sale at retail to the general public and includes limited on-site storage or limited seasonal outdoor sales to support that store's operations. Typical uses include but are not limited to grocery, clothing, shoe, hardware, pharmaceutical, appliance and sporting goods stores. This use excludes warehouse sales and the sale of gasoline, heavy agricultural and industrial equipment, or second-hand goods, or retail stores requiring outdoor storage.

RIDING STABLES means land and *buildings* used to house horses and for their exercise and training may include a school, boarding stables, tack shop or other related uses.

ROAD means the portion of the *highway* that is improved, designed, or ordinarily used for vehicular traffic.

SECONDARY SUITE means a self-contained, accessory *dwelling unit* that provides living accommodation based on rental periods of one month or greater. The *secondary suite* is located within a single detached house that has its own separate *kitchen*, sleeping and bathing facilities. A *secondary suite* does not include townhouses, *duplex housing*, or *apartment housing*.

Bylaw
871-25

SECOND-HAND STORES means development used for the retail sale of second-hand or used major and minor *household* goods, including the refurbishing and repair of the goods being sold. Typical uses include but are not limited to pawnshops and the resale of items such as antique, used furniture, major appliances, and the resale of clothing, jewelry, stereos, electronic equipment and musical instruments. This does not include the sale of used vehicles, recreation craft, or construction equipment, or industrial equipment, or *auctioneering establishments*.

SETBACK means the horizontal distance measured at right angles to the *parcel* line, between the *parcel* line and the nearest wall or supporting member of a *building* or *structure*.

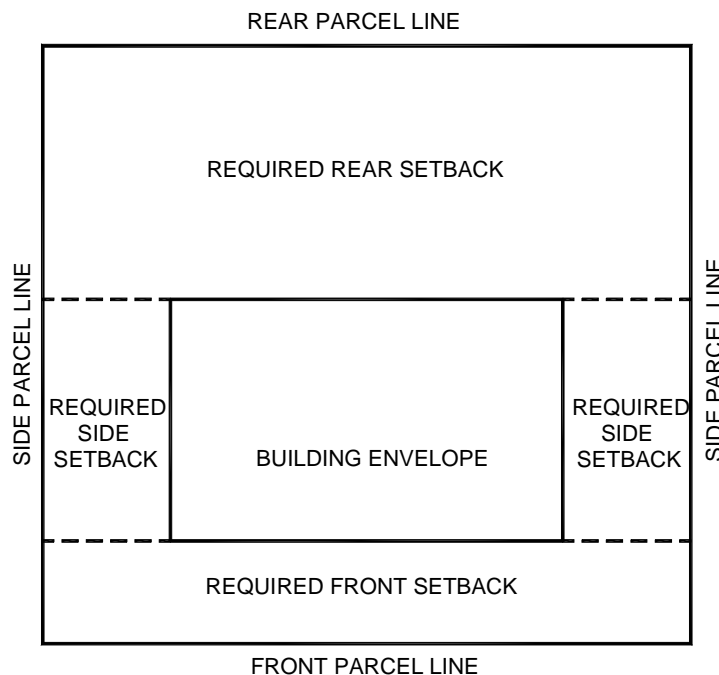
SETBACK, FRONT as illustrated in Figure 15.4, means the minimum required *setback* area between the *side parcel lines* extending from the *front parcel line* to the nearest wall or supporting member of a *building* or *structure*.

SETBACK, REAR as illustrated in Figure 15.4, means the area between the *side parcel lines* extending from the *rear parcel line* to the nearest wall or supporting member of a *building* or *structure*.

SETBACK, SIDE as illustrated in Figure 15.4, means the area of the *parcel* which extends from the *front setback* to the *rear setback*, between the *side parcel line* and the nearest wall or supporting member of a *building* or *structure*.

SETBACK, CORNER SIDE means a *side setback* located along a *corner side parcel line*.

Figure 15.4
ILLUSTRATION OF FRONT, SIDE AND REAR SETBACK



SIGN means any symbol, identification, description, illustration or device, illuminated or non-illuminated which is visible from any public place or is located on private property and exposed to the public, and which directs attention to a product, service, place, activity, person, institution, business or solicitation.

SINGLE DETACHED HOUSE means a detached *building* containing only one *dwelling unit*, designed exclusively for occupancy by one *household*.

SMALL RELIGIOUS ASSEMBLY FACILITY means a *religious assembly facility* with a *gross floor area* of less than 300 square metres.

SOLID SCREEN means a solid fence or wall used as an enclosure and a visual barrier about all or part of a *parcel* and includes gates on all access points made of materials comparable to the fence or wall. A *solid screen* may consist of wood or vinyl or similar materials but does not include plywood, corrugated metal or chain link fencing.

SPECTATOR ENTERTAINMENT ESTABLISHMENTS means an enclosed *building* designed specifically for the presentation of live artistic performances or the showing of motion pictures. Typical uses include but are not limited to auditoria, cinemas, theatres, and concert halls.

STANDARD DYKE means a dyke built to a minimum crest elevation equal to the *flood construction level* and meeting standards of design and construction approved by the Ministry of Environment and maintained by an ongoing authority such as a local government body.

STORAGE OF BULK FUEL, CHEMICALS AND OTHER PETROLEUM PRODUCTS means premises used for the above ground level storage or below ground level storage and distribution of bulk fuel products.

STOREY means that portion of a *building* which is situated between the top of any floor and the top of the floor next above it, and if there is no floor above it, that portion between the top of such floor and the ceiling above it.

STREET LEVEL STOREY means the storey of the *building* with its floor level closest to the level of the primary pedestrian access or *road* access to the *building*.

STRUCTURE means any construction fixed to, supported by, or sunk into land or water, but excludes concrete and asphalt paving or similar surfacing of a *parcel*.

TEMPORARY AGRICULTURAL WORKER DWELLING means a building located on agricultural land that accommodates seasonal agricultural workers.

Bylaw
871-25

TEMPORARY SHELTER SERVICES means the provision of communal, transient accommodation sponsored or supervised by a public authority or non-profit agency intended to provide basic lodgings for persons requiring immediate shelter and assistance for a period of less than six months. Typical uses include but are not limited to hostels and over-night shelters.

TIMBER PROCESSING means the use of land, *buildings* and *structures* where timber is cut, sawed or planed, either to finished lumber, or as an intermediary step and may include facilities for the drying and storage of lumber.

TOP OF BANK means the point at which the upward ground level becomes less than one (1.0) vertical to four (4.0) horizontal, and refers to the crest of the bank or bluff where the slope clearly changes into the natural upland bench; or as designated by the Minister of Environment or his designated official;

TOURIST CABINS means a *building* with a maximum size of 100 m², designed and built as an independent and separate housekeeping establishment that is not used for residential purposes, but may include separate *kitchen* and sanitary facilities, provided as short term occupancy for owners or occupiers for periods of less than one month.

Bylaw
871-25

TOURIST CAMPSITES means land which is not used for residential purposes but has been planned and improved for the seasonal short term use of holiday trailers, motor homes, tents, campers and similar *recreational vehicles*. Typical uses include but are not limited to tourist trailer parks, campsites, and tenting grounds.

TOURIST CAMPSITE SPACES means a defined area within a *tourist campsite* used or intended to be used or rented for occupancy of holiday trailers, motor homes, tents, campers and similar *recreational vehicles* provided as short term occupancy for owners or occupiers for periods of less than one month.

Bylaw
871-25

TOURIST LODGE means a building that forms part of a wilderness resort development that may include *restaurant, community and assembly halls, convenience retail stores, meeting rooms, dwelling unit* for the owner/operator or caretaker, *motel* units, and *outdoor recreation equipment rental*.

TOWNHOME HOUSING means a *building* or group of *buildings* divided into three or more *dwelling units* with private exits and entrances to the outside for each dwelling, with each *dwelling unit* sharing at least one common party wall.

TRANSPORTATION STATIONS means premises for the pick-up and discharge of fare paying, intercity and intracity bus, train and taxi passengers and may include vehicle bays and shelters and accessory *convenience retail stores*.

TRIPLEX HOUSING means any physical arrangement of three attached *dwelling units* intended to be occupied by separate *households* with separate exterior access to *grade*.

UTILITY SERVICE means premises for utility *infrastructure* purposes. Typical uses include but are not limited to public works yards, sewage and water treatment plants, pump houses, sewage lagoons, sanitary land fill sites, power stations and substations, communication towers, telephone exchanges, and similar equipment and *infrastructure*.

VEHICULAR PARKING AREAS AND STRUCTURES means premises providing vehicular parking which is not primarily intended for the use of residents, employees, or clients of a particular development. Typical uses include surface parking lots and parking *structures* located above or below *grade*.

WATERCOURSE means any natural or man-made depression with defined banks and a bed 0.6 metres (1.968 feet) or more below the surrounding land serving to give direction to a current of water at least six (6) months of the year or having a drainage area of 2 square kilometres (0.77 square miles) or more upstream of the point of consideration.

WIDTH means specifically for a *manufactured home*; the *width* of the *building* when it is placed on the *parcel*, before vestibules, garages, decks or other additions are added to the *manufactured home*.

WINERY means a *winery* licensed under the Liquor Control and Licensing Act.

WRECKING YARD means any land or *building* used for the collection, demolition, dismantlement, storage, salvage, recycling or sale of waste materials including scrap metal, vehicles, machinery, and other discarded materials.

ZONE means an area established under this Bylaw.

ZONE, R means a *zone* located in the R1, R1M, RMP, R2, and RC1 *zone*.

ZONE, R3 means a *zone* located in the R3A, R3B, R3C *zone* or other *zone* with a prefix R3.

ZONE, RU means a *zone* located in the RU1, RU2, RU3, RU4, RU5, RU6 *zone* or other *zone* with a prefix of RU.

ZONE, C means a *zone* located in the C1, C2, C3, C4, C5, C6, C7 *zone* or other *zone* with a prefix of C.

ZONE, I means a *zone* located in the I1, I2, I3, I4, I4A, I5, I6 *zone* or other *zone* with a prefix of I.

ZONE, P means a *zone* located in the P1 or P2 *zone* or other *zone* with a prefix of P.

Part 16 - Comprehensive Development Zones

16.1 The following are Comprehensive Development Zones (CDZ):

1. They are the detailed zone developed for a specific property for reasons such as open space protection, ensuring specific design details or cluster development.
2. The following CD zones are based upon the zones in this zoning bylaw except for the specific requirements as stated.
3. Comprehensive Development Zones apply only to the specific property indicated.

APPENDIX A

CD-1 COMPREHENSIVE DEVELOPMENT ZONE (SUNSET RANCH)

Purpose

The purpose and intent of this zone is to implement the Sunset Ranch Concept Development Plan, and thereby provide for the comprehensive development of a residential golf course community. Density is based on an averaging of all lands within the comprehensive golf course development.

The Sunset Ranch Comprehensive Development zone is divided into several designations. Development within each designation is to occur as per the specifications indicated.

Despite the provisions of this bylaw that enact the zoning in respect of this parcel, only the specified list of uses set out in the overriding section is permitted on specified parts of the parcel.

All definitions and regulations of the Regional District Zoning Bylaw No. 871 apply unless expressly specified or modified in the CD-1 zone.

Definitions

Development Cluster(s) means an area of land set aside for development, having a minimum area of 5,000m² and a maximum area of up to 5 hectares. The development cluster will contain residential development in the form of fee simple, bare land strata, or building strata lots.

Density is the number of dwelling units permitted per hectare and includes developable areas, and areas given over to the development of local streets and open space.

1.0 General Regulations for the entire “CD-1 Comprehensive Development Zone (Sunset Ranch)”

- .1 Notwithstanding the regulations of the CD-1 zone, principal and accessory buildings may have zero yard setbacks subject to the following requirements:
 - a) Prior to the approval of any zero side yard development, preliminary subdivision layout plans showing easements, lot grading and drainage on site and on adjacent sites must be submitted for approval to the Regional District;
 - b) The owners of the adjacent lot will grant a 2.4 metre private maintenance easement;
 - c) The maintenance easement will be registered against the title of the site proposed for development and the adjacent site providing the easement;
 - d) No building or other structure may be located on or over a maintenance easement, except for overhangs;
 - e) All roof drainage from the zero lot line building will be directed onto its own lot by eavestroughs and down spouts;
 - f) No windows or doors will be located on the side of the dwelling abutting the zero lot line; and
 - g) The side yard setback of the principal building on the side opposite the zero side will be 2.4 metres.

- .2 Setback and Buffering from ALR to be in accordance with the Regional District Zoning Bylaw No. 871.
 - a) The required minimum setback of the principal building from land in the A1 zone or Agricultural Land Reserve is 15.0 metres (49.2 ft).
 - b) The required setback of the principal building from land in the A1 zone or ALR may be reduced to 9.0 metres (29.5 ft) if a Level 1 buffer is provided and maintained.
 - c) The eastern boundary of Lot 1, Plan KAP44599 requires full perimeter chain link fencing, and buffer (free of trails), as per the attached Section Drawing (Sunset Ranch Buffer Area Concept).

**DESIGNATIONS WITHIN THE CD-1 COMPREHENSIVE DEVELOPMENT ZONE
(SUNSET RANCH)**

CD-1 (A) Neighbourhood Residential

1. Permitted Density

CD-1 (A) – 10.0 units/hectare

2. Permitted uses

Duplex housing

Single detached housing

Home based business, minor (see Section 3.20)

3. Development Regulations

- .1 Within the area designated CD-1(A) no further subdivision shall occur without provision of two 15 meter wide open space corridors, generally running east to west, to separate development clusters. These corridors are to separate the zoned area into three clusters, and must be continuous, vegetated open space, under one common ownership, except for road crossings where required due to topography and as mutually agreed upon by Regional District staff and the owner/developer.
- .2 All development will occur in conformance to the following regulations table:

REGULATIONS TABLE FOR CD-1(A) DESIGNATION	
Column 1	Column 2
Minimum parcel area - single detached housing - duplex housing	400 m2 270 m2 for an interior lot 345 m2 for an exterior lot flanking a street
Minimum parcel frontage	12.0 m (39.4 ft.)
Minimum front setback	2.0 m (6.6 ft.)
Minimum side setback	1.2 m (3.9 ft.)
Minimum corner side setback	2.0 m (6.6 ft.)
Minimum rear setback	2.0 m (6.6 ft.)
Minimum setback from parcels in another zone	4.5 m (14.8 ft.)
Minimum setbacks from A1 Zone	15.0 m (49.2 ft.) [see section 3.11]
Maximum parcel coverage – single detached housing	60% of the parcel area
Maximum parcel coverage – duplex housing	60% of the parcel area
Maximum number of principal buildings	1 per parcel
Minimum building width of a principal building	5.5 m (18.0 ft.)
Maximum building height: .1 Principal buildings	9.0 m (29.5 ft.), to a maximum of 3 storeys

CD-1 (B) & CD-1 (C) Multiple Unit Residential (Medium)

1. Permitted Density

CD – 1 (B) – 12.0 units/hectare

CD – 1 (C) – 10.0 units/hectare

2. Permitted Uses

Single detached housing

Duplex housing

Triplex housing

Fourplex housing

Townhome housing

Home based business, minor (see Section 3.20)

Accessory building

3. Development Regulations

.1 Where Triplex Housing, Fourplex Housing, or Townhome Housing is proposed:

- no stacked units are permitted; all units will be side by side.

.2 All development will occur in conformance to the following regulations table:

REGULATIONS TABLE FOR CD-1(B) & CD-1(C) DESIGNATIONS	
Column 1	Column 2
Minimum parcel area	
- single detached housing	400 m2
- duplex housing	270 m2 for an interior lot 345 m2 for an exterior lot flanking a street
- triplex, fourplex or townhome housing	232 m2 for an interior lot 319 m2 for an exterior lot adjacent to another residential lot
Maximum parcel area – triplex, fourplex, or townhome	5000 m2
Minimum parcel frontage	12.0 m (39.4 ft.)
Minimum front setback	2.0m (6.6 ft.)
- single detached and duplex housing	2.0 m (6.6 ft.)

- triplex, fourplex or townhome housing	2.0 m (6.6 ft.)
Minimum side setback	
- single detached and duplex housing	1.2 m (3.9 ft.)
- triplex, fourplex or townhome housing	3.0 m (9.8 ft.)
Minimum corner side setback	
- single detached and duplex housing	2.0 m (6.6 ft.)
- triplex, fourplex or townhome housing	3.0 m (9.8 ft.)
Minimum rear setback	
- single detached and duplex housing	2.0 m (6.6 ft.)
- triplex, fourplex or townhome housing	2.0 m (6.6 ft.)
Minimum setback from parcels in another zone	4.5 m (14.8 ft.)
Minimum setbacks from A1 Zone	15.0 m (49.2 ft.) [see section 3.11]
Maximum parcel coverage	
- single detached housing	60% of the parcel area
- duplex housing	60% of the parcel area
- triplex, fourplex, or townhome housing	65% of the parcel area
Maximum number of principal buildings	1 per parcel
Minimum building width of a principal building	5.5 m (18.0 ft.)
Maximum building height:	
.1 Principal buildings	9.0 m (29.5 ft.), to a maximum of 3 storeys

CD-1 (D) Recreational Facilities

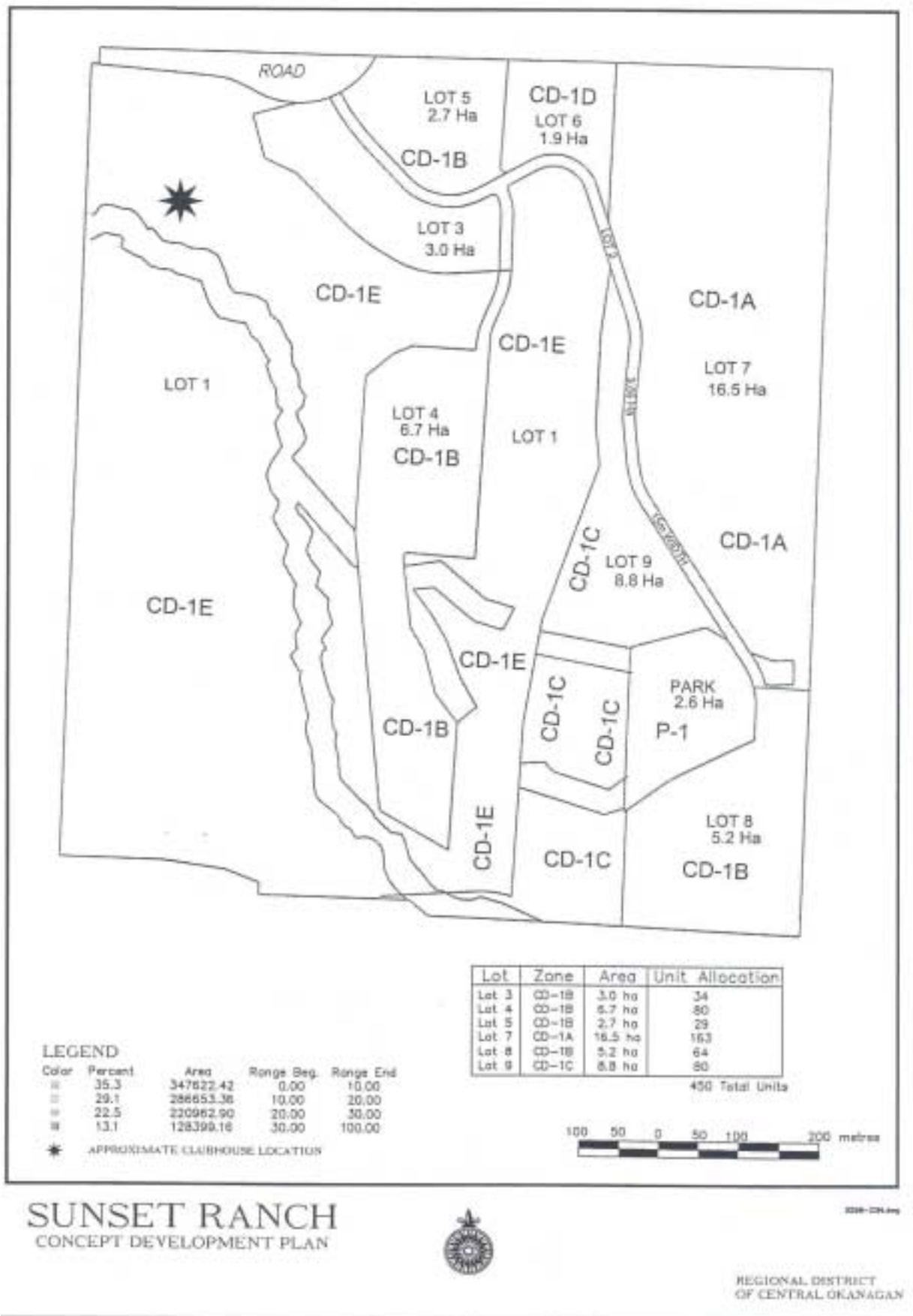
1. Permitted Uses

- Recreation services, indoor and outdoor
- Trails and walkways
- Accessory buildings and structures
- RV Storage

2. Development Regulations

All development will occur in conformance to the following regulations table:

REGULATIONS TABLE FOR CD-1(D) DESIGNATION	
Column 1	Column 2
Minimum front setback	4.5 m (14.8 ft.)
Minimum side setback	3.0 m (9.8 ft.)
Minimum corner side setback	4.5 m (14.8 ft.)
Minimum rear setback	3.0 m (9.8 ft.)
Minimum setbacks from A1 Zone	15.0 m (49.2 ft.) [see section 3.11]
Maximum parcel coverage	35% of the parcel area
Maximum building height:	9.0 m (29.5 ft.)



CD-1 (E) Golf Course

1. Permitted Uses

Golf course

2. Additional Permitted Uses

(The following uses are only permitted in conjunction with an existing golf course):

Driving range

Clubhouse, including:

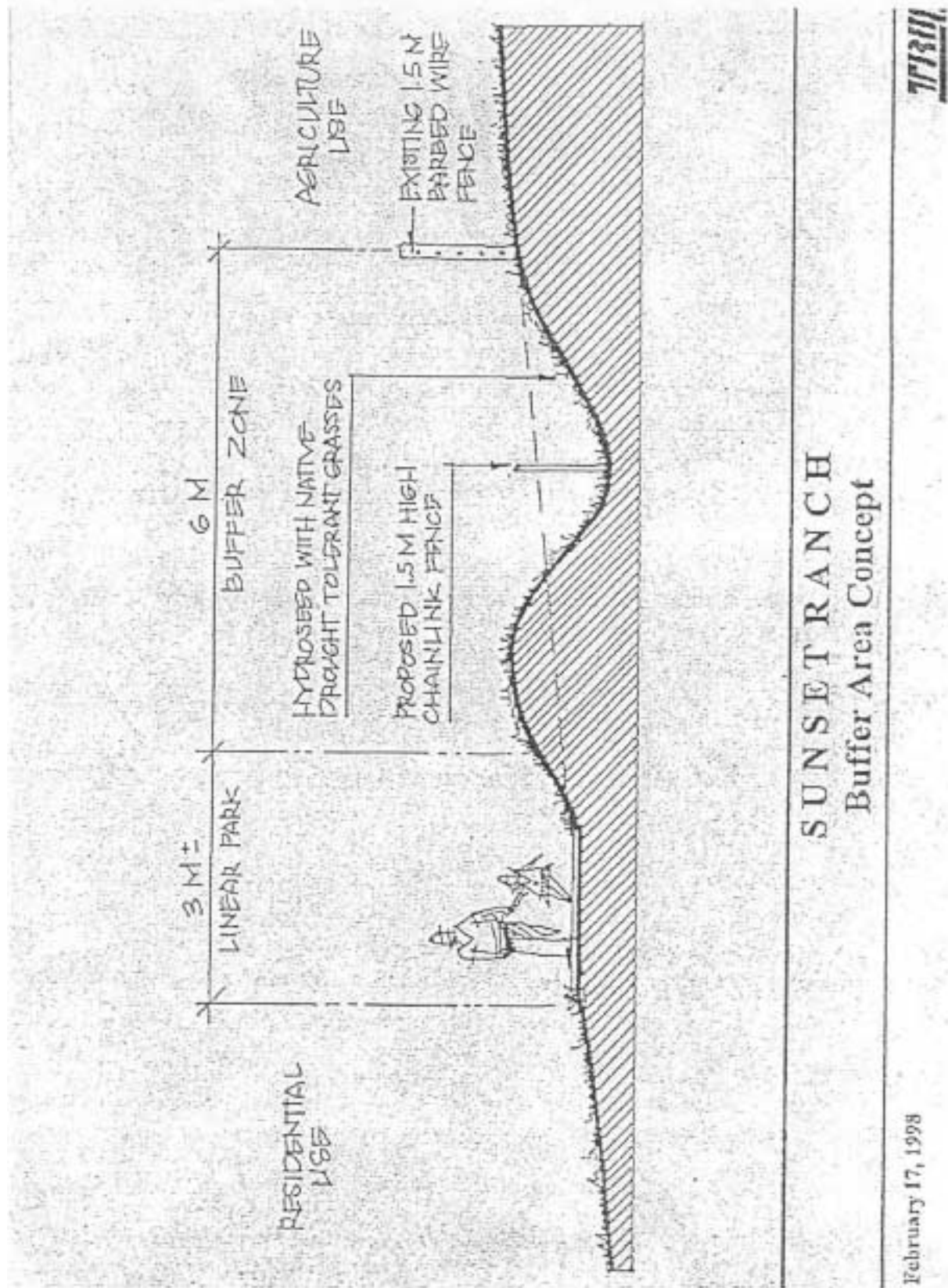
- a) Eating and drinking establishments
- b) Meeting rooms
- c) Pro Shop
- d) Offices for golf course
- e) Change rooms

Accessory uses that are ancillary to the above noted permitted uses

3. Development Regulations

All development will occur in conformance to the following regulations table:

REGULATIONS TABLE FOR CD-1(E) DESIGNATION	
Column 1	Column 2
Minimum front setback	4.5 m (14.8 ft.)
Minimum side setback	3.0 m (9.8 ft.)
Minimum corner side setback	4.5 m (14.8 ft.)
Minimum rear setback	3.0 m (9.8 ft.)
Minimum setbacks from A1 Zone	15.0 m (49.2 ft.) [see section 3.11]
Maximum parcel coverage	35% of the parcel area
Maximum building height:	9.0 m (29.5 ft.)



APPENDIX B

CD2 – Comprehensive Development Zone (Westlake)

The Westlake Concept Development Zone is divided into several designations. Development within each designation is to occur as per the specifications indicated.

Despite the provisions of this bylaw that enact the zoning in respect of this parcel, only the specified list of uses set out in the overriding section is permitted on specified parts of the parcel.

General regulations for the entire Westlake CD zone area:

All definitions and regulations of the Regional District Zoning Bylaw (except the zone categories of Part 4 of Zoning Bylaw #871) apply with the following additions:

Definitions:

Half storey - means a storey under a sloping roof, the exterior walls of which, on at least two opposite walls, are not more than 0.6 metres above the finished floor of such a storey.

Floor area ratio (FAR) - means the numerical value of the net floor area on all levels of all buildings and structures on a site, divided by the area of the site. The FAR does not include parking beneath a building.

DESIGNATIONS WITHIN THE WESTLAKE COMPREHENSIVE DEVELOPMENT ZONE

CD-2(A) Neighbourhood Centre

1. Permitted uses:

- .1 Branch banks, credit unions or other financial institutions
- .2 Business or professional offices
- .3 Eating establishments
- .4 Laundries and dry cleaning
- .5 Personal service establishments such as art framing and repair, shoe repair, beauty salon, tailoring, music and dance schools, private sports facilities (excluding amusement machines)
- .6 Pharmacies, drugstores, convenience stores, food stores, florists, art sales (excluding amusement machines)
- .7 Video sales and rental (no sales or rental of adult videos shall be located within one half kilometre of any public school or property owned by the school district intended for future school development)
- .8 Public community services and public community institutional uses including but not limited to police station, or branch library
- .9 Child care facilities (subject to the requirements of the Ministry of Health)
- .10 Churches
- .11 Multiple family residential (one unit per 150 square metres of non-residential establishments contained in the same building)

2. Details of Use:

- .1 One building on the site is permitted
- .2 Individual establishments (not including residential) are limited to a maximum of 250 square metres (except for child care facilities which may be larger).
- .3 Residential dwelling units shall conform to the following:
 - a) Access for each unit shall be to the ground floor and separate from access for the commercial premises.
 - b) *Each unit shall have a minimum of 15 square metres of private, useable, outdoor open space. This may be either at grade, or in the form of decks or terraces, or a combination of the two.*
- .4 None of the building street frontage (the portion of the lot between the building and the property lines adjacent to roads) shall be developed as parking areas, lanes or access (ie: no parking between the building and the street).
- .5 Individual parking spaces shall be accessed from the interior of the property, not directly from public roads.
- .6 No exterior storage is permitted and dumpsters must be completely concealed on all sides. A location for dumpsters is to be identified and not used in parking or loading calculations.

3. Minimum lot size: - 4,000 square metres

4. Development Regulations:

- .1 The maximum floor area ratio for the non-residential portion of the building is 0.2. In addition, a residential floor area ratio of 0.2 is permitted.
- .2 Maximum site coverage including buildings, driveways, access lanes and parking areas is 65%.
- .3 The maximum height is 2.0 storeys.
- .4 The minimum setback fronting a public road is 4.5 metres, maximum is 6 metres.
- .5 The minimum side yard and rear yard setback is 3 metres adjacent to the Open Space designation.
- .6 Where the lot abuts the Medium Density Residential designation:
 - a) The minimum setback shall be 4.5 metres
 - b) There shall be a 3 metre wide strip landscaped with trees and shrubs.
 - c) There shall also be a 1.8 metre high, closed concrete or wood fence.

CD-2(B) Medium Density Residential

1. Permitted Uses:

- .1 Multiple family dwellings

2. Details of Use:

- .1 No more than 20% of units shall be apartment type on the second storey served by a common corridor. 80% of housing shall be in the form of town houses with;
 - a) ground level access
 - b) at least 20% of the floor area at ground level.
- .2 Units facing public roads except Westlake Road will have individual front doors with pedestrian access to the street.

- .3 Each unit shall have a minimum of 15 square metres of private, useable, outdoor open space. This may be either at grade, or in the form of decks or terraces, or a combination of the two.
 - .4 Walls, tall hedges or high fences along property lines abutting public roads are not permitted. However, private space can be delineated by low planting or decorative fences no more than 1 metre in height.
 - .5 None of the building street frontage (the portion of the lot between the building and the property lines adjacent to roads) shall be developed as parking areas, lanes or access.
 - .6 Parking lots shall be behind buildings, not between the buildings and the public roads.
 - .7 Individual parking spaces shall be accessed from the interior of the property, not directly from public roads.
 - .8 All units within this designation are considered multiple family units and require a development permit as per the Lakeview Official Community Plan.
3. Minimum Lot Size - 5,000 square metres
4. Development Regulations:
- .1 The maximum floor area ratio is 0.4.
 - .2 There will be a 3 metre setback of the second floor where the building faces other properties, open space or a public street.
 - .3 The maximum height is 2.5 storeys.
 - .4 Maximum site coverage including buildings, driveways, access lanes and parking areas is 60%.
 - .5 No building shall exceed 40 metres of continuous building frontage.
 - .6 The minimum setback from all property lines is 4.5 metres except Westlake Road (see .7 and .8 below) and except for the land to the south of the Westlake Comprehensive zone area (see .8 below).
 - .7 A 5 metre buffer strip is required adjacent to Westlake Road right-of-way. This buffer is to be retained in its natural state (except for walkways) or landscaped with trees and shrubs.
 - .8 The setback from the buffer strip on Westlake Road is 4.5 metres.
 - .9 Bordering the land to the south of the Westlake Comprehensive zone area:
 - a) the setback shall be 20 metres;
 - b) a 1.8 metre closed fence is required along the property line located on a 1.0 metre high berm. The berm is not required where undisturbed natural trees and landscape are retained to a depth of 4.5 metres;
 - c) at least one tree per 10 metres shall be planted in the setback area having a minimum clear-stem height of 1.5 metres for deciduous trees and coniferous trees being at least 2.5 metres tall.

CD-2(C) Compact Single Family Housing

1. Compact Housing - can include the following uses:

- .1 Single Family residential
- .2 Home based business, minor

Bylaw
871-51

2. Details of Use:

- .1 Walls, tall hedges or high fences along the front property lines are not permitted. However, private space can be delineated by low planting or decorative fences no more than 1 metre in height.
 - .2 No parking shall occur between the building and the street except where in front of a garage.
 - .3 No more than one accessory building is permitted.
3. Minimum Lot Size - 500 square metres
Minimum Frontage - 14 metres, a reduction in frontage of down to 12 metres will be permitted on a cul-de-sac provided the minimum arc length along the 6 metre offset line is 14 metres.
4. Development Regulations:
- .1 The maximum height is 2.5 storeys.
 - .2 The maximum distance between the building grade and the eaves shall be no more than 7.5 metres.
 - .3 Accessory buildings cannot be more than 1.0 storey.
 - .4 The front yard setback is 4.5 metres. However, fronting the full length of the garage the front yard setback shall be 6 metres rather than 4.5 metres.
 - .5 The setback from a flanking street shall be the same as the front yard setback.
 - .6 The maximum building and structure site coverage is 30%. The portion of the building located between 4.5 metres back from the front property line and 6 metres back from the front property line is not included in the site coverage calculation. The intention is to encourage building within this envelope so that there is a strong orientation of the building and front doorway to the street. It is intended that the garage become less dominant.
 - .7 Where there is no garage, onsite parking shall be provided to at least a 6 metre depth on the property so that at least 2 cars can be parked.
 - .8 The side yard setback is 1.2 metres. Eaves may project 0.6 metres into the side yard setback.
 - .9 The rear yard setback shall be 6 metres.
 - .10 One (1) dwelling unit per parcel.

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HILLSIDE HOUSING

CD-2(D) Hillside Housing Cluster Development

1. Permitted Uses:
- .1 Cluster Development
 - a) single family residential
 - b) two family residential
 - c) multiple family residential
 - d) home based business, minor, in single family residential housing form only
 - .2 Common Open Space
 - a) walkways, paths, benches
 - b) playgrounds, gazebos, picnic areas (provided these uses are not for profit) amounting to not more than 10% of the total Open Space area
2. Details of Use:

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- .1 Areas used as “common open space” are the areas being protected by putting the units normally permitted there into the areas used as “cluster development”. “Common open space” areas are intended to remain in their natural state save for the uses outlined above.
 - .2 There shall be two trees per lot or per unit which may be comprised of existing trees or new trees. Required trees should have a minimum clear-stem height of 1.5 metres for deciduous trees, while coniferous trees should be at least 2.5 metres high. The intention is to protect or restore the natural environment in order to screen the development on the hillside.
3. Density:
- .1 For the overall area indicated as “hillside development” the density is 12 units per hectare (net).
 - .2 No less than 60% of each CD-2(D) zoned area shall be retained as “common open space”. 40% of each area may include the development, public or private roads, parking etc. and is called “cluster development”.
 - .3 The “cluster development” portion of the property will have a density assigned to it based upon the total parcel size and the relative area of cluster development and common open space.
 - .4 Within the area zoned CD-2(D), those areas to be for cluster development and common open space will be defined by restrictive covenant in the initial plan of subdivision. This plan will be in conformance with this zone and the general intent of the Westlake Concept Development Plan as required by policy in the Lakeview Official Community Plan. The restrictive covenant will be of a stewardship, retention nature and apply to the total “common open space” being stewarded by the total “cluster development”.

4. Development Regulations:

- .1 Single family housing forms in the cluster development area shall be developed in conformance with the “Compact Single Family Housing” designation except;
 - a) lot coverage and minimum lot size do not apply
 - b) a lot cannot create a non-conformity with setback regulations.
- .2 All other housing forms in the cluster development area shall be developed in conformance with the “Medium Density Residential” designation (including development permits as detailed in the Lakeview Official Community Plan) except:
 - a) minimum lot size and floor area ratio does not apply
 - b) a lot cannot create a non-conformity with setback regulations
 - c) maximum height is 1.5 storeys.
- .3 Lots along the top of the ridge to the west of the Village Centre shall have a 10 metre setback from the area designated “Open Space”. One additional coniferous tree shall be planted within this setback per each unit facing onto it in order to screen the development.
- .4 A single lane emergency roadway connecting to a main road at each end may be constructed within the 10 metre setback mentioned above. This single lane road will double as a public walkway.

CD-2(E) Hillside Housing Single Family

1. Permitted Uses:

- .1 Single family residential
- .2 Home based business, standard

Bylaw
871-51

Hillside Housing Single Family shall be developed in conformance with the “Compact Single Family Housing” except:

- .1 the density shall be 12 units per hectare
- .2 the **minimum lot size** shall be 835 square metres
- .3 **minimum frontage** of 18 metres, a reduction in frontage of down to 12 metres will be permitted on a cul-de-sac provided the minimum arc length along the 6 metre offset line is 18 metres.
- .4 there shall be two trees per lot or per unit which may be comprised of existing trees or new trees. Required trees should have a minimum clear-stem height of 1.5 metres for deciduous trees, while coniferous trees should be at least 2.5 metres high. The intention is to protect or restore the natural environment in order to screen the development on the hillside
- .5 lots along the top of the ridge to the west of the Village Centre shall have a 10 metre setback from the area designated “Open Space”. One additional coniferous tree shall be planted within this setback per each unit facing onto it in order to screen the development.
- .6 a single lane emergency roadway connecting to a main road at each end may be constructed within the 10 metre setback mentioned above. This single lane road will double as a public walkway.

Bylaw
871-25

CD-2(F) School/Park1. Permitted Uses:

- .1 Public School
- .2 Public Play fields
- .3 Public Parks

2. Development Regulations:

- .1 The setback from public roads is 6 metres. The setback from all other property lines is 7.5 metres.
- .2 The building is to front onto the major east/west road connecting to Westlake Road. No parking is to occur between the building and this major road. This setback area is to be landscaped.
- .3 Off street loading bays for busses and parents should be incorporated into the design.

CD-2(G) Open Space

1. Permitted Uses:

- .1 Trails
- .2 Interpretive Centre
- .3 Passive Recreation

2. Development Regulations:

- .1 Structures for park purposes shall be constructed in conformance with the B.C. Buildings Code and will be subject to approval from the Parks Department and/or the Parks Advisory Committee.

APPENDIX CCD-3 Comprehensive Development Zone (Gellatly Road Hotel)**Location:**

Gellatly Road

Purpose:

This zone provides for the development of a resort hotel as well as residential units which include two or more land use designations and accessory grounds as an integrated unit based upon a comprehensive development project. Density and open space are based on an averaging of all lands within the development. Year round occupancy is allowable within each of the residential/hotel units.

Principal Uses Permitted:

Hotel/resort and related facilities, which allows for year round occupancy for residents, accessory buildings and structures, including convenience store, boat docking and launching facilities.

Secondary Uses Permitted:

1. Child care use
2. Private open space
3. Accessory buildings and structures

Conditions of Use:

1. Buildings and structures permitted:
 - (a) Hotel/resort structures
 - (b) Accessory buildings
 - (c) Accessory structures
2. Within the CD-3 Zone, the lands shall be developed for hotel/resort/residential use in accordance with the plans of the comprehensive development project as approved and incorporated as CD-3, Map 1 (pages 1 - 5) attached to this bylaw.
3. The density and uses shall be developed in accordance with the text of this zone and with the plans of the comprehensive development project generally in accordance with CD-3, Map 1, (pages 1 - 5) attached to this bylaw. The design elements are conceptual in nature and as outlined on the said CD-3, Map 1 and may vary as outlined in the development permit approved by the Regional District of Central Okanagan.
4. Child care use shall be licensed under the Provincial Community Care Facility Act.

5. Lot Coverage - A maximum 40% of total area to be constructed to buildings.
6. Numbers of Units - A maximum of 150 hotel/resort/residential units with this density being applicable to and constructed within Lot 5, ODYD Plan 316, except Plan B5709 and Lot 1, ODYD Plan KAP48119.

Comprehensive Development Plan:

Every applicant for comprehensive development zoning shall submit the following information to the Regional District Board:

1. A comprehensive development plan, including the following:
 - (a) a site plan or plans, including legal descriptions of the area to be developed, showing the location of all existing and proposed buildings, streets, lanes, highways, driveways, parking and loading areas, sidewalks, street lighting, utilities and utility easements, streams and other topographical features of the site;
 - (b) preliminary architectural plans and elevations for any proposed buildings;
 - (c) existing and proposed grades and their relations to the elevations on adjoining properties;
 - (d) the location, size, height, colour, lighting and orientation of all signs;
 - (e) the location and treatment of open spaces, existing and proposed landscaping, fences and walls;
 - (f) a statement outlining proposed uses.

Maximum Height of Buildings and Structures:

1. Hotel/resort - 16 meters to the roof ridge for the mass of the building, with 18 meters for the roof ridge of the centre wing of the building, increasing to 20 meters for ornamental peaks.
2. Accessory structures - 6 meters
3. Elevator and stair housing roof top structures and other necessary appurtenances, including one television antenna or dish shall project no more than 4.5 meters above the permitted maximum height of the principle building, provided their combined width, exclusive of the television antenna does not exceed 7.5 meters and all such structures shall be enclosed by an appropriate screen.

Setbacks and Site Statistics:

1. All buildings and structures shall be sited generally in accordance with CD-3, Map 1 (pages 1- 5) attached to this bylaw.
2. Minimum Frontage - 50 meters.

Private Open Space:

Private open space for the site shall be located generally in accordance with CD-3, Map 1 (pages 1- 5), attached to this bylaw.

Off-Street Parking:

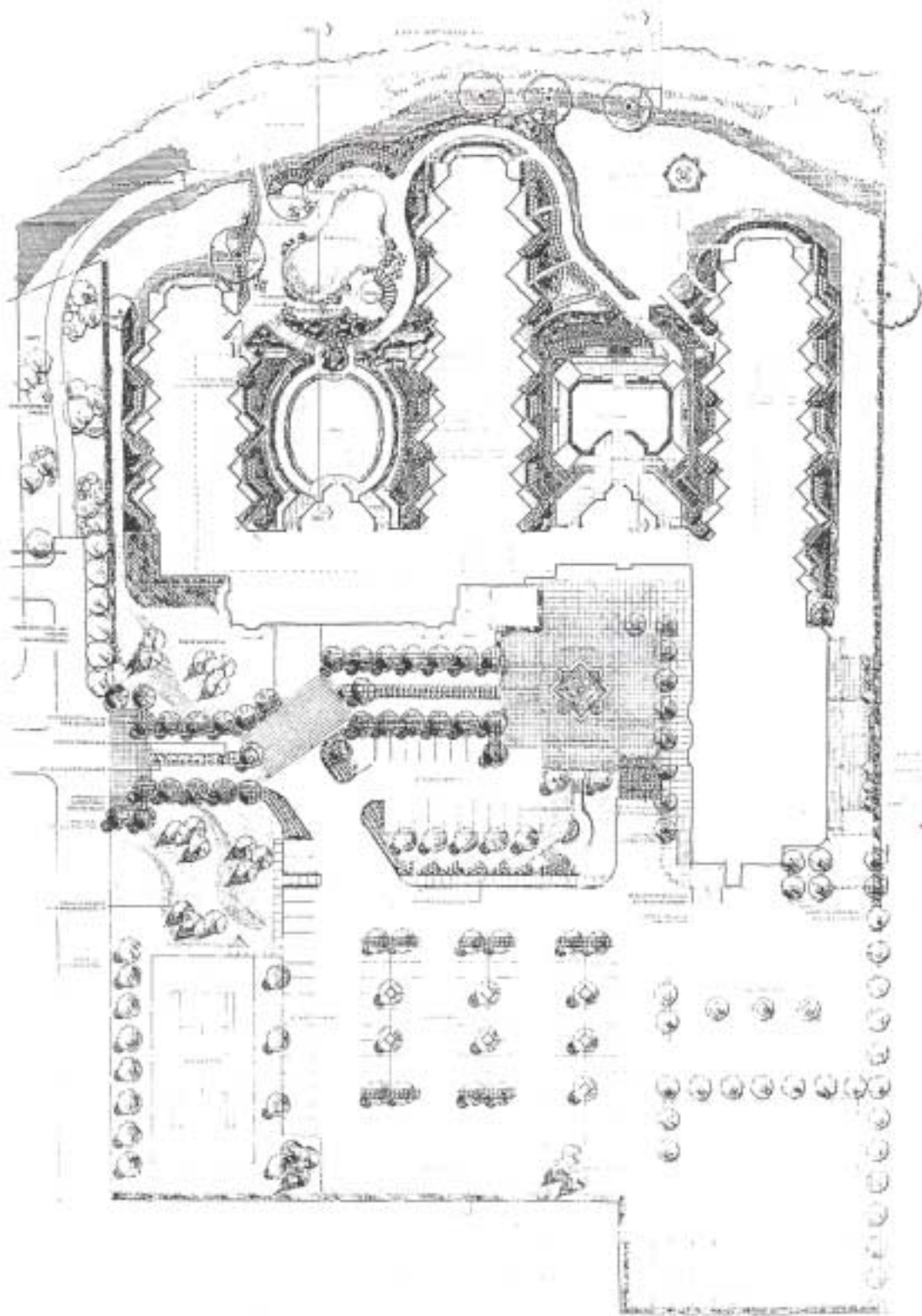
Off-street parking will be provided generally in accordance with CD-3, Map 1 (pages 1- 5), attached to this bylaw. There will be a minimum of 175 parking spaces provided.

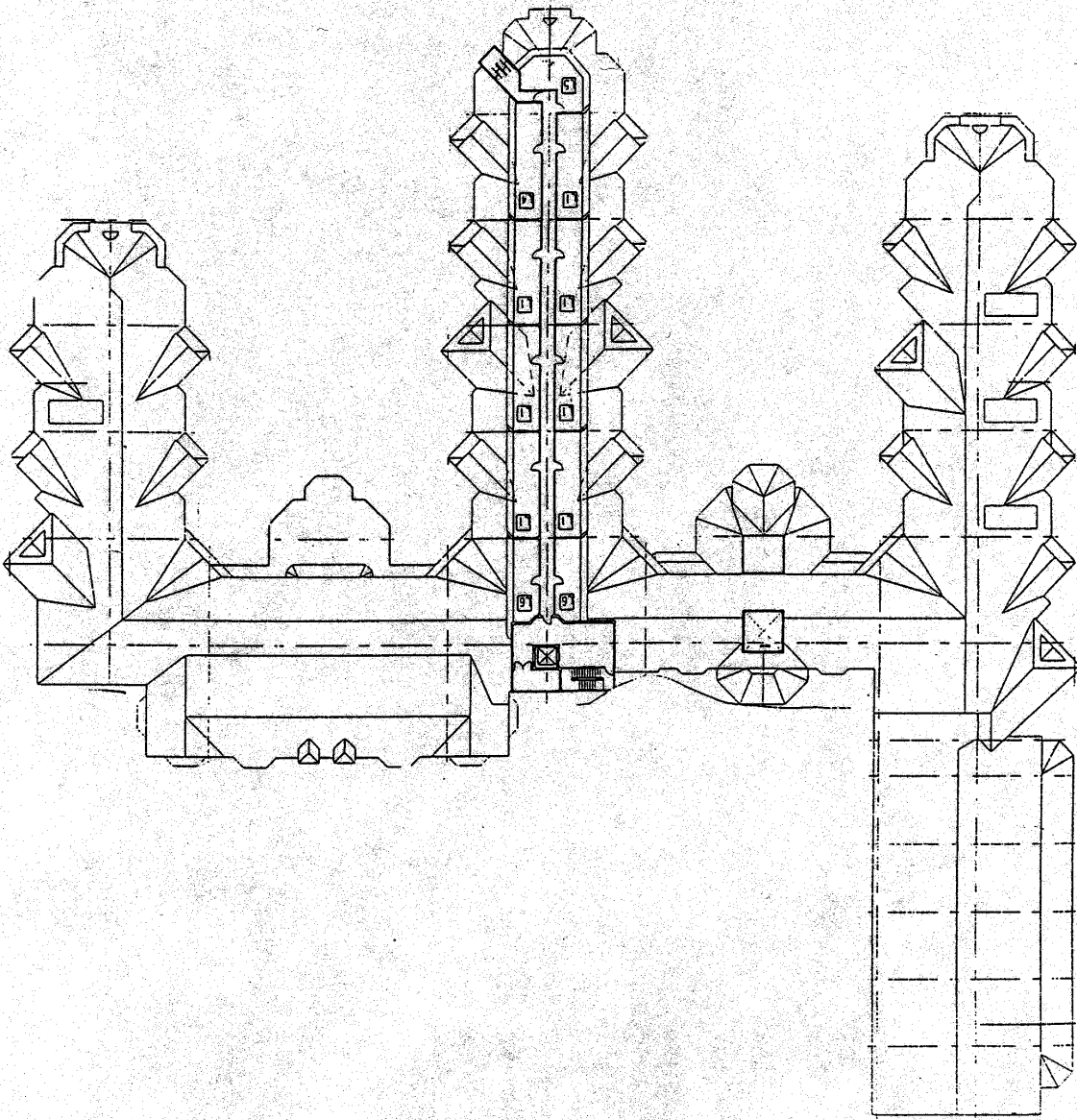
Off-Street Loading:

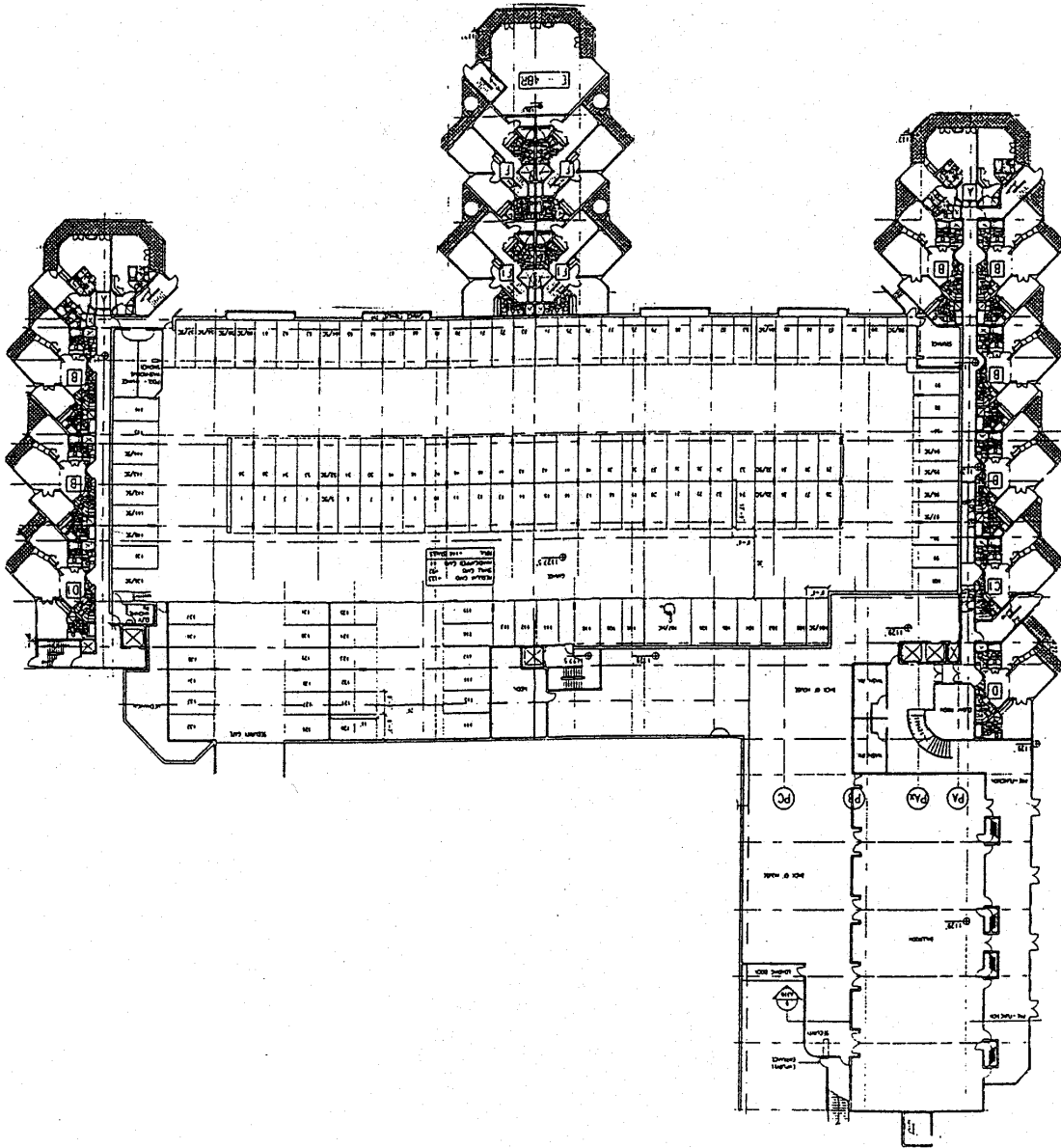
Off-street loading will be provided generally in accordance with CD-3, Map 1 (pages 1- 5), attached to this bylaw.

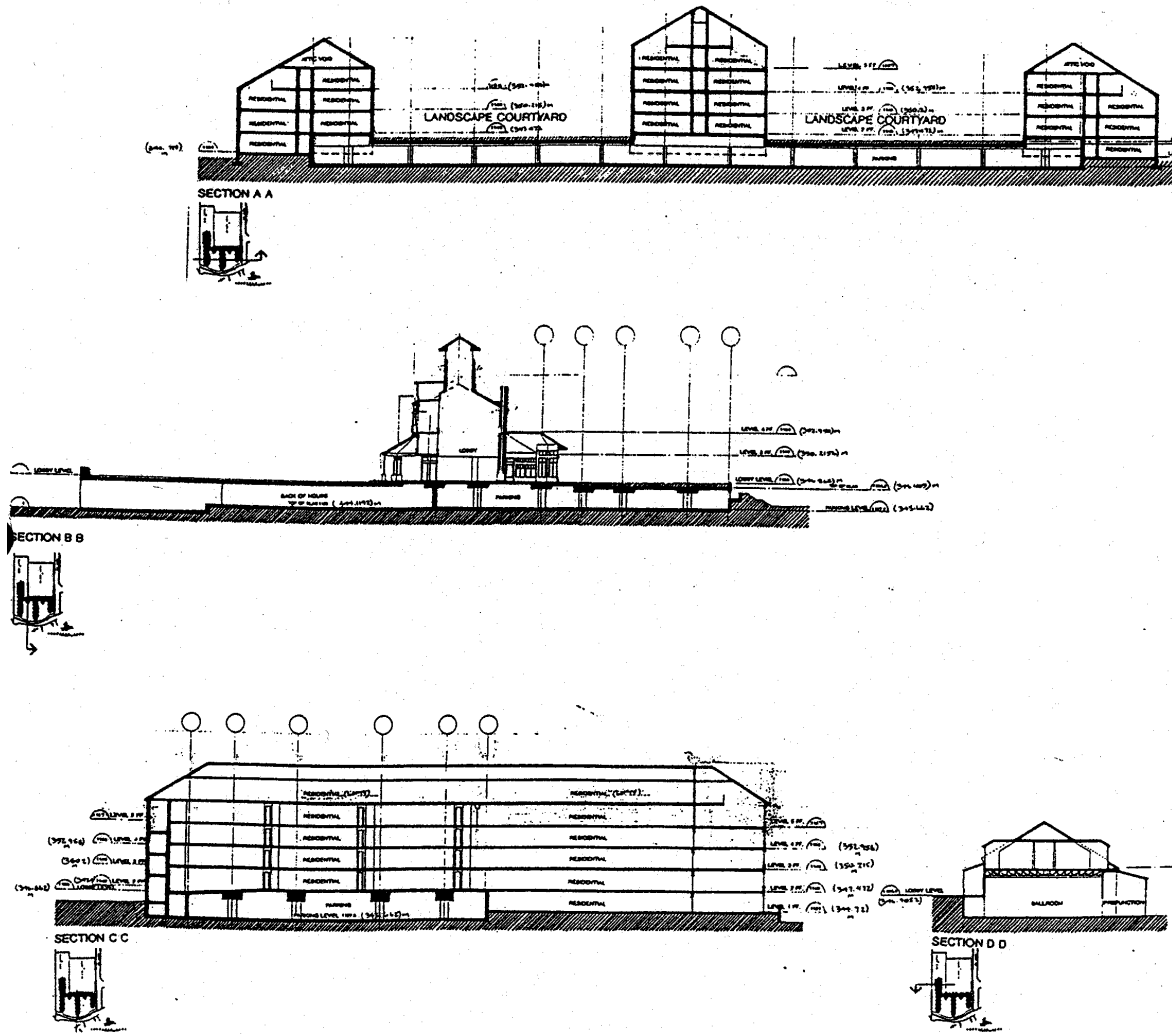
General Regulations:

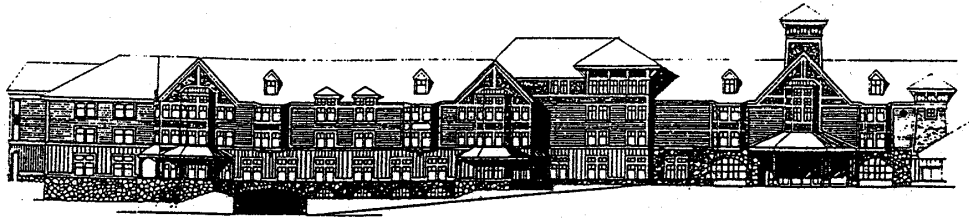
See Part III - Except where modified herein, all other parts and definitions of 2B of the Regional District of Central Okanagan Zoning Bylaw of which this forms a part.



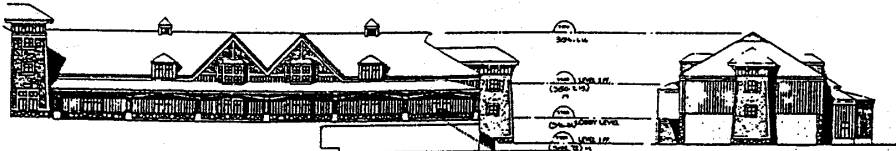






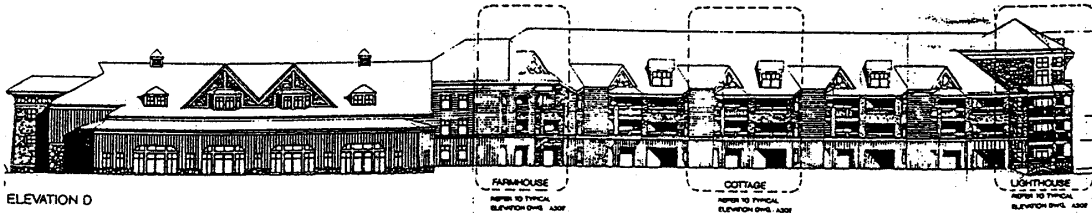
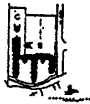


ELEVATION A

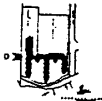


ELEVATION B

ELEVATION C



ELEVATION D



APPENDIX D

CD-4 Comprehensive Development Zone (Mission Ridge Estates)

Purpose: The intent and purpose of this zone is to redistribute density in order to conserve part of the site with uses not related to housing.

The Mission Ridge Estates Concept Development zone is divided into several sectors. Development within each sector is to occur as per the specifications indicated.

Despite the provisions of this bylaw that enact the zoning in respect of this parcel, only the specified list of uses set out in each sector is permitted on specified parts of the parcel.

TOTAL LAND AREA -- 6.91 HA

1. The land uses described in this zone shall be distributed as follows:

CD-4A Compact Housing Area -- not more than 2.16 hectares

CD-4B Multiple Duplex Housing -- not more than 3.07 hectares

CD-4C Green Space Area -- not less than 24% of total land area

in accordance with the attached site plan titled Schedule "A". The exact location of these sectors will be fixed at the time of subdivision through restrictive covenant under Section 219 of the Land Title Act.

2. All definitions and regulations of the Regional District Zoning Bylaw #871 apply unless specified below:

CD-4A – Compact Housing Area

PERMITTED USES
<p>Permitted uses:</p> <ol style="list-style-type: none"> 1. Single detached house; 2. Home based business, standard; 3. Accessory uses, buildings and structures. <p>Total Units permitted - 27</p>

REGULATIONS TABLE	
Minimum parcel area	400 m ²
Minimum parcel frontage	12.08 m (39.4 ft.)
Minimum front setback	2.0 m (6.6 ft.)
Minimum side setback	1.2 m (3.9 ft.)
Minimum corner side setback	2.0 m (6.6 ft.)
Minimum rear setback	2.0 m (6.6 ft.)
Minimum garage setback	2.0 m (6.6 ft.)
Minimum setback from a highway	4.5 m (14.8 ft.)
Minimum setback from parcels in another zone	4.5 m (14.8 ft.)
Minimum setbacks from A1 Zone	15.0 m (49.2 ft.) see Section 3.11
Maximum parcel coverage	60% of the parcel area
Maximum number of single detached houses	1 per <i>parcel</i>
Minimum building width of principal building	5.5 m (18.0 ft.)
Maximum building height:	
1. Principle buildings	9.0 m (29.5 ft.)
2. Accessory uses, building and structures	5.0 m (16.4 ft.)

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CD-4B – MULTIPLE DUPLEX HOUSING AREA

PERMITTED USES
<p>Permitted uses:</p> <ol style="list-style-type: none"> 1. Single detached house; 2. Duplex housing; 3. Home based business, minor; 4. Day care centre, minor; 5. Accessory uses, buildings and structures.

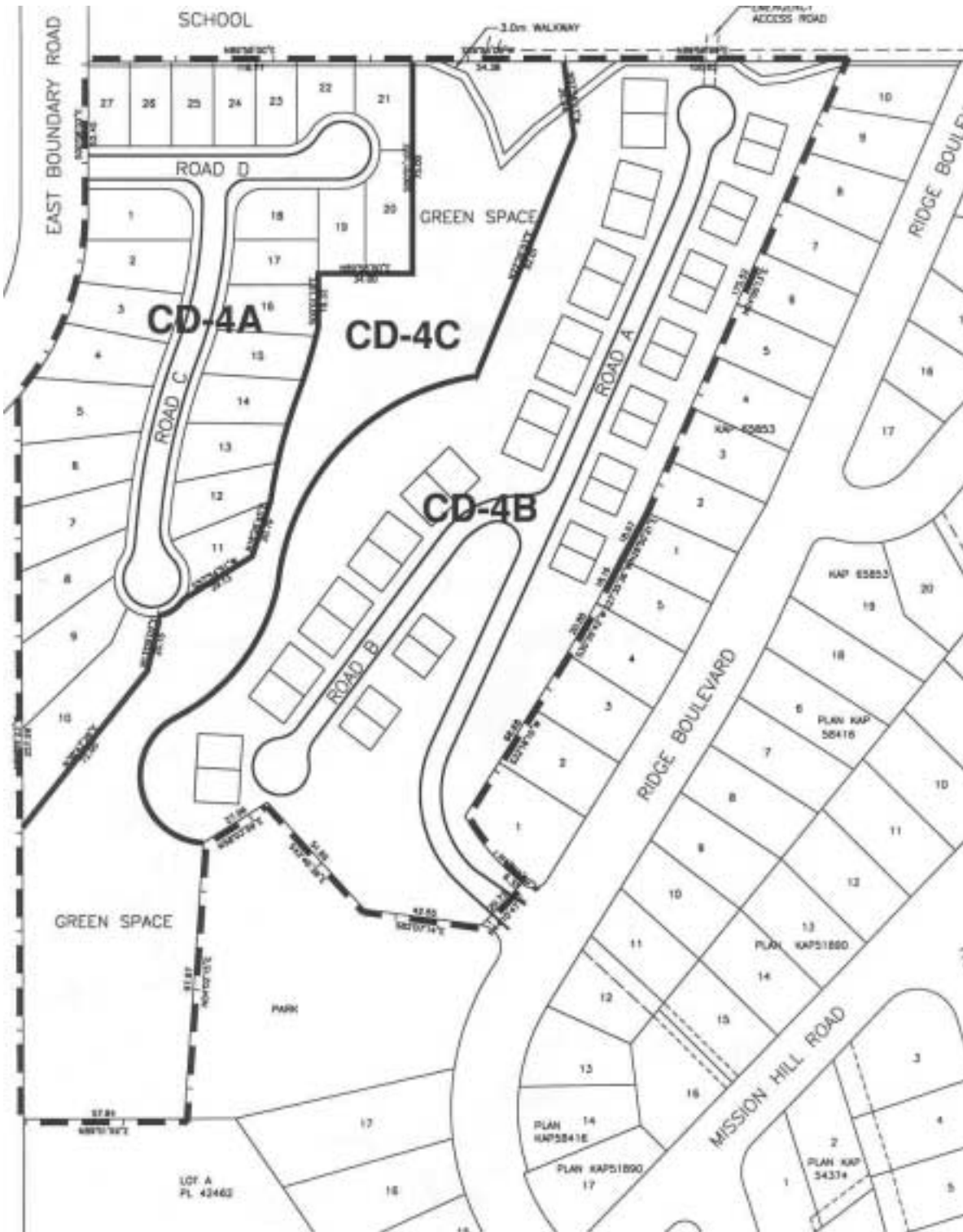
REGULATIONS	
Maximum number of units	38
Maximum parcel frontage	20.0 m
Minimum side setback	3.0 m
Minimum rear setback	9.0 m
Maximum parcel coverage	35% of the <i>parcel area</i>
Maximum building height:	
1. Principle Buildings	9.0 m (29.5 ft.)
2. Accessory uses, buildings and structures	5.0 m (16.4 ft.)

CD-4C – GREEN SPACE AREA**PERMITTED USES****Permitted uses:**

5. Undisturbed open space
6. Disturbed, rehabilitated open space
7. Trails
8. Benches

The green space area is intended to remain largely natural.

Schedule "A"



Part 17 Effective Date (Bylaw)

REGIONAL DISTRICT OF CENTRAL OKANAGAN ZONING BYLAW NO.871

WHEREAS the Regional Board of the Regional District of Central Okanagan wishes to repeal Bylaw No. 176, cited as the Regional District of Central Okanagan Zoning Bylaw 1980 and amendments thereto, and wishes to adopt a new Zoning Bylaw, pursuant to the Local Government Act of the Province of British Columbia.

AND WHEREAS the Regional Board has held a Public Hearing pursuant to the Local Government Act,

NOW THEREFORE the Regional Board of the Regional District of Central Okanagan, in open meeting enacts as follows:

1. This Bylaw shall be cited as the Regional District of Central Okanagan Zoning Bylaw No. 871;
2. The following schedules attached hereto are hereby made part of this bylaw and adopted as the Zoning Bylaw for the Central Okanagan Regional District;
 - a) Schedule A (Zoning Bylaw text)
 - b) Schedule B (Zoning Bylaw map)
3. The Bylaw cited as the Regional District of Central Okanagan Zoning Bylaw 1980 and amendments thereto as it applies to the Regional District of Central Okanagan is hereby repealed.

READ THE FIRST TIME this 17th day of April, 2000


APPLICATION SUBJECT TO PUBLIC HEARING PURSUANT TO THE LOCAL GOVERNMENT ACT this 8th day of May, 2000

READ THE SECOND TIME this 12th day of June, 2000

READ THE THIRD TIME this 12th day of June, 2000

RECONSIDERED AND ADOPTED this 28th day of August, 2000


Chairperson


Secretary

I hereby certify the foregoing to be a true and correct copy of Zoning Bylaw No. 871 as read a third time by the Regional District of Central Okanagan the 12th day of June, 2000

Dated at Kelowna, this 20th day of June, 2000


Secretary

I hereby certify the foregoing to be a true and correct copy of Zoning Bylaw No.871 which was Reconsidered and Adopted by the Regional District of Central Okanagan on the 28th day of August, 2000

Dated at Kelowna, this 29th day of August, 2000


Secretary

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Part 18 Schedule "B"

SCHEDULE "B"

**Refer to Zoning Maps in the Planning Dept. at the
Regional District of Central Okanagan**

Part 19 Summary of Zoning Bylaw Text Amendments

BYLAW #	DESCRIPTION OF AMENDMENTS	DATE OF ADOPTION
871-13	Text Amendments and Map Revisions	November 20 th , 2000
871-8	Map Revisions	December 11 th , 2000
871-11	CLOSED – January 26 th , 2001	
871-14	CLOSED – January 29 th , 2001	
871-2	Map Revisions	February 26 th , 2001
871-15	Map Revisions	April 9 th , 2001
871-16	Map Revisions	April 9 th , 2001
871-17	1. Include R3C Multiple Housing (Medium Density) Zone 2. Map Revisions	May 7 th , 2001
871-1	Map Revision (Lot A, Plan 18841 from A1 to RU5)	June 25 th , 2001
871-22	Map Revision (Part of DL 503 from RU 2 to CD-2(C) and CD-2(E))	June 25 th , 2001
871-21	Map Revision (Lot 6, Plan 39172 from R3A to R3B)	July 16 th , 2001
871-20	Map Revision (Lot 2, Plan KAP56855 from R3A to R1)	July 16 th , 2001
1257	Map Revision (Lot A, Plan 36280 from C-4 to C-3)	July 16 th , 2001
871-26	Map Revision (Lot 14, Plan KAP56183 from R2 to R1)	October 15 th , 2001
871-24	Map Revision	December 10 th , 2001
871-25	Text Amendments and Map Revisions	December 10 th , 2001
871-10	Map Revision	February 25 th , 2002
871-27	Map Revision (Lot 1, Plan 25893, D.L. 3478 from RU3 to R1)	April 22 nd , 2002
871-36	Map Revision (Lot B, Plan 38859, D.L. 2601, except Strata Plan K695 (phase 1 & 2), (from R1 & P1 to R1)	July 29 th , 2002
871-39	Map Revision (Lot 47, Plan 32791, D.L. 3188 from R1 to R2)	July 29 th , 2002

871-29	Map Revision (Lot 8, Plan 43094, D.L. 2599 from P1 to R1)	August 26 th , 2002
871-43	Map Revision (Lot 11, Plan 43105, D.L. 505 from R1 to R1s)	August 26 th , 2002
871-41	Map Revision (Lot 1, Plan 4660, Sec. 12, Twp 23 from A1 to A1s)	September 9 th , 2002
871-33	Map Revision (Block B, DL 1119 ODYD from RU1 Rural 1 and P2 Institutional and Assembly to R1 Single Detached Housing, R2 Duplex Housing, R3A Multiple Housing (Low Density), and P1 Park and Open Space.	October 21 st , 2002
871-46	Map Revision (Lot A, Plan KAP71773, DL 2920 ODYD) change in zoning on port of closed road – from RU1 Rural 1 to P2 Institutional Assembly	November 6 th , 2002
871-47	Map Revision (Lot 135, Plan 5381, DL. 1934 and 3496) change from RU3 Rural 3 to R1 Single Detached Housing	January 27 th , 2003
871-38	Map Revision (Part of DL 503 ODYD) change from RU2 Rural 2 to CD2 (B) Medium Density Residential, CD2(C) Compact Single Family Housing, CD2(G) Open Space and P1 Park and Open Space	February 24 th , 2003
871-52	Map Revision (Part of the Most Northerly 40 chains of DL 2045 ODYD) from R2 Duplex Housing to R1 Single Detached Housing	March 10 th , 2003
871-48	Map Revision (part of DL 3745, ODYD, shown as closed road on Plan KAP72134 from RU2 Rural 2 to P2 Institutional and Assembly)	March 24 th , 2003
871-31	Map Revision (DL4761 from P1 Park and Open Space to R1 Single Detached Housing)	April 7 th , 2003
871-49	Map Revision Lot 16, Plan 20209, DL 3329 – from R1 Single Detached Housing to RU3 Rural 3	April 28 th , 2003
871-42	Map Revision – Lot B, DL 3189, Plan KAP57530 and Part of Lot A, DL 3189, Plan KAP 57530 from R1 Single Detached Housing to R2 Duplex Housing	May 12, 2003
871-50	Map Revision – Lot 1, Plan 18115, DL 486 from R1 Single Detached Housing to C1 Town Centre Commercial.	July 21, 2003
871-51	Text Amendments and Map Revisions	July 21, 2003
871-57	Map Revision – Lot 6, Plan 29377, DL 506 from R1 Single Detached Housing to R1s Single Detached Housing (with Secondary Suite)	July 21, 2003
871-55	Map Revision – part of the northerly 15 chains of DL485 from RU2 Rural 2 to R1 Single Detached Housing	August 18 th , 2003
871-35	AMENDED CD1 (Sunset Ranch) – Replaced in its entirety	September 29 th , 2003

871-63	Map Revision – part of Lot 4, Plan 38319, DL 2044 ODYD, except Plans 41418,42221,43565, KAP49046, KAP63937 and KAP69440 from P1 Park and Open Space to R1 Single Detached Housing.	October 20, 2003
871-64	Map Revision – part of the Northerly 15 chains of DL 485 (measured along the Westerly boundary of said DL by the full width thereof), ODYD, except Plans 41453, 42401 and 43347 from RU2 Rural 2 to R1 Single Detached Housing.	November 3, 2003
871-67	Map Revision – part of the most Northerly 40 chains of DL 2045, ODYD, except Plans H18375, KAP54203, KAP55424, KAP66235, KAP68394, KAP70127, KAP72237 & KAP72629 from RU2 Rural 2 to R1 Single Detached Housing	December 8, 2003
871-72	Map Revision – Amended Sunset Ranch Buffer Area Concept	February 9 th , 2004
871-58	Permitted use amended in Section 7.1.1 for Lot 1, Plan 44004, DL 581 ODYD to allow a vineyard and one single family/caretakers residence	February 9 th , 2004
871-71	Permitted use amended in Section 8.1.1 for part of Lot 5, Plan 23091, DL 2602 ODYD to allow single detached houses	February 9 th , 2004
871-66	Map Revision – Lot D, Plan 35810, DL 1934 ODYD from RU5 Small Lot Country Residential to R1 Single Detached Housing	March 8 th , 2004
871-54	Map Revision – Part of Lot 153, Plan 5381, DL 2689 & Part of Lot 155, Plan 5381, DL 2689 from P2 Institutional and Assembly and C3 Gasoline Service Station to C1 Town Centre Commercial	March 22 nd , 2004
871-73	Map Revision – Lot 14, Plan KAP62980, DL3189 from R1 Single Detached Housing to R2 Duplex Housing	March 22 nd , 2004
871-56	Map Revision – Part of DL 503 (Exc. Parcel A and KAP5779, KAP65836, KAP67015, KAP71512 & KAP71513 FROM ru2 Rural 2 to CD-2 (C) Compact Single Family Housing, CD-2 (E) Hillside Housing Single Family and CD-2 (G) Open Space	April 5 th , 2004
871-65	Map Revision – Part of amended Lot 1, DL's 434 & 523, Plan 9862 from C5 Campground, Cabin and Motel Commercial to RC1 Compact Housing	April 5 th , 2004
871-74	Add R3D Congregate Housing Zone.	April 5 th , 2004

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May 18, 2004